



## OFFICE OF CAMPUS PLANNING & OPERATIONS

December 28, 2021

### ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

Dear Chautauquan,

The owner of 36 Scott Ave., (Georgia Court) in the Neighborhood Traditional District are coming before the Architectural Review Board with plans to add a first-floor half-bath addition on the easterly side of the house partially within the required 3' street-side-yard setback. Therefore, this project requires an Architectural Review Board review.

Variances/Requests being considered:

- 1) Construction within the required 3' street-side-yard setback on the easterly side along Crescent Ave. ;(ALU 4.4.6)
- 2) Construction within the required 10' rear-yard setback on the northerly side; (ALU 4.4.6)

You are receiving this notification because your property is approximately within 150' of the proposed project site.

Plans for this project may be reviewed online at [Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://www.chq.org/architecture-review-board-news-and-notes)

The Architectural Review Board will meet on Thursday **February 3, 2022, at 12:00 PM via Zoom conference**. See instructions for joining this conference below. Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to John Shedd at [arb@ciweb.org](mailto:arb@ciweb.org) until 12:00 noon on February 2, 2022.

Join Zoom Meeting

<https://us02web.zoom.us/j/83326374805>

Meeting ID: 833 2637 4805

One tap mobile

+16468769923,,83326374805# US (New York) 13126266799,,83326374805# US

PO Box 28 / Chautauqua, NY 14722-0028

716.357.6245 / 716.357.9014 (fax)

[ARB@chq.org](mailto:ARB@chq.org) • [chq.org](https://www.chq.org)

+(Chicago)

Dial by your location

+1 646 876 9923 US (New York)  
+1 312 626 6799 US (Chicago)  
+1 301 715 8592 US (Washington DC)  
+1 669 900 6833 US (San Jose)  
+1 253 215 8782 US (Tacoma)  
+1 346 248 7799 US (Houston)  
+1 408 638 0968 US (San Jose)

Meeting ID: 833 2637 4805

Find your local number: <https://us02web.zoom.us/j/kcZwsQrIJQ>



**John L. Shedd, AIA**

Vice President of Campus Planning and Operations

[jshedd@CHQ.org](mailto:jshedd@CHQ.org) | o: 716.357.6245

### **Chautauqua Institution**



PO Box 28 | 1 Ames Ave.

Chautauqua, NY 14722

[chq.org](http://chq.org) | [assembly.chq.org](http://assembly.chq.org)

Office Phone: 716.357.6245

Fax: 716.357.9014

PO Box 28 / Chautauqua, NY 14722-0028

716.357.6245 / 716.357.9014 (fax)

[ARB@chq.org](mailto:ARB@chq.org) • [chq.org](http://chq.org)

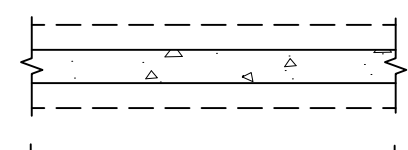




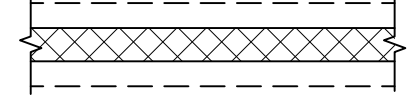
# GEORGIA COURT RESIDENCE HALF BATH ADDITION

36 SCOTT AVENUE, CHAUTAUQUA, NY 14722

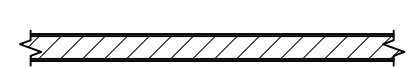
## SYMBOL LEGEND



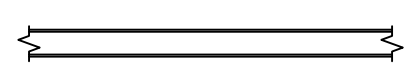
NEW POURED CONC. FDN WALL CONSTRUCTION



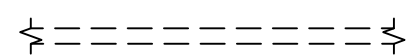
NEW CMU FDN WALL CONSTRUCTION



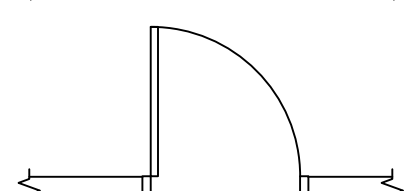
NEW WOOD STUD WALL CONSTRUCTION



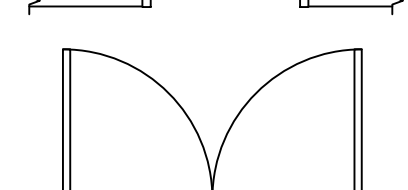
EXISTING WOOD STUD WALL CONSTRUCTION



WALLS TO BE REMOVED



NEW SINGLE DOOR



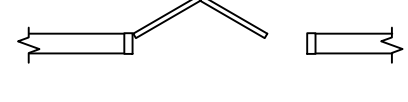
NEW DOUBLE DOOR



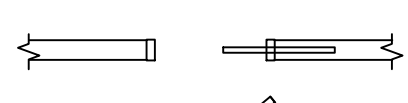
NEW SLIDING DOOR



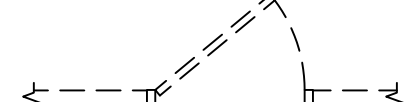
NEW BI-FOLD DOOR



NEW SINGLE POCKET DOOR



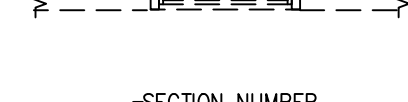
DOOR TO BE REMOVED



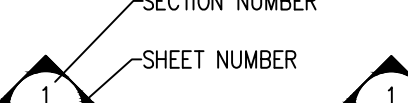
WINDOW TO BE REMOVED



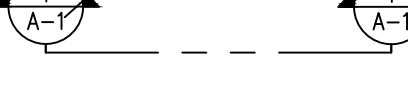
BUILDING SECTION



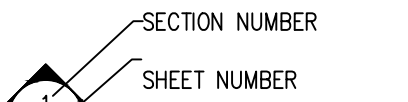
WALL SECTION



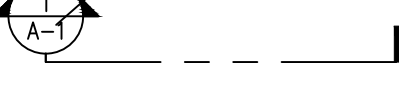
EXTERIOR ELEVATIONS



ELEVATION INDICATOR



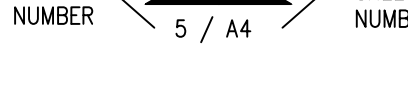
EGRESS WINDOW



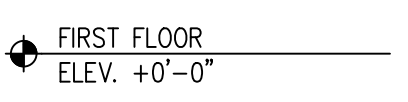
SMOKE DETECTOR/ALARM  
HARDWIRED INTERCONNECTED  
W/BATTERY BACKUP



SMOKE/CO DETECTOR/ALARM  
HARDWIRED INTERCONNECTED  
W/BATTERY BACKUP



BATHROOM EXHAUST FAN/LIGHT  
COMBO, DUCTED TO THE EXTERIOR



HEAT DETECTOR INTER CONNECTED  
WITH BATTERY BACK UP

## CONSTRUCTION NOTES

1. Install electric, heating, and plumbing according to NYS Building Code.
2. These plans do not show all the standard details used during construction. New York State Building code standards and practices should be followed.
3. Footing design is based on normal soil conditions with an allowable load of 1500 psf. If substandard soil (soft clay or silt) is encountered the designer should be contacted.
4. Design is based on a 50 psf ground snow load with applicable modifications. Roof design dead load is 10 psf. Floor design loads are 10 psf dead and 30 psf live for the second floor and 10 psf dead and 40 psf live for the first floor.
5. Minimum 28 day compressive strength is 3000 psi for concrete footers and walls and 4000 psi for concrete slabs.
6. Maximum U value for new doors and windows to be .30.
7. Minimum floor to sill window installation height without safety glazing is 18".
8. Max allowable rise in stairs is 8 1/4", minimum allowable tread depth is 9", min head clearance 6'-8". Hand rail to be mounted 34 to 38 inches above the stair tread nosing.
9. Minimum vent pipe diameter is 3"
10. LVLs for headers are to be Trus Joist Microlam, 1.9E, 2600 psi or better.
11. All lumber to be SPF #2 or better.
12. Bridging should be installed at mid span of floor joists.
13. For pressure treated lumber applications use hot dipped galvanized G185 connectors and hardware or stainless steel.

"Contact engineer of record (Rock Hill Engineering) in the event of any structural changes to that shown on the plan"

Contractor to field verify all dimensions. Ensure that beams in crawlspace are located below bearing walls. ensure solid blocking to beams for all point loads new and existing.

Contractor shall protect all adjacent structures during excavation and construction of foundation wall.

## ELECTRICAL NOTES

1. Arc fault circuit interrupter protection provided at all branch circuits, 15-20 amp, 120 volt, single phase.
2. GFI at wet locations per code. Kitchens, bathrooms, basements, garage, and egress areas. Max three outlets per GFI.
3. Install two 20 amp circuits for kitchen, pantry, breakfast, and dining areas. 20 amp circuits for each appliance. Consult appliance requirements.
4. 20 amp circuit for laundry room.
5. Bathrooms require 20 amp GFI circuits.
6. Hallways 10 ft or longer to have one outlet.
7. 15 amp circuits for lights use #14 awg copper.
8. 20 amp circuits use #12 awg copper.
9. Install outlets at spacing per code.
10. Install switched light or outlet at each habitable room or switched outlet.
11. At least one wall switch/light at hallway, stairwell, egress door, detached/attached garage.
12. Attic, crawl space, basement, utility room to be provided with wall switch/integral light switch.
13. Install high efficiency lighting in at least 90% of new construction.

These plans may be used by the client's design professional as the basis for the remainder of the plan set. Any other plans required for permitting must be submitted by the client or their registered design professional. Required plans may include mechanical and storm water.

## NEIGHBORHOOD TRADITIONAL

FAR CALCULATIONS:		ISR CALCULATIONS:	
1ST FLOOR	11142 SF	FOOT PRINT	11142
2ND FLOOR	404	CRAWL SPACE ENTRY	20
THIRD	N/A	PORCH/ENTRY	354
BASEMENT	N/A	DRIVE WAY	N/A
TOTAL	1546 SF	*WALKS	112
LOT	2000 SF	TOTAL:	1516
1546 /2000 =	.77	LOT	2000
		1516 /2000 =	.76

24% OF THE LOT IS GREEN

\* WALKS ARE GRAVEL

## ABBREVIATIONS

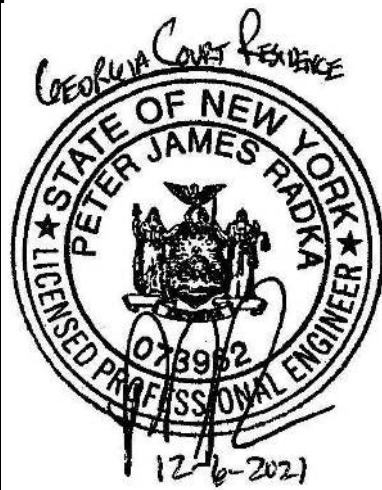
&	AND	EQ	EQUAL	JT.	JOINT
@	AT	EXP	EXPANSION	LB	POUND
AFF	ABOVE FINISHED FLOOR	EXIST.	EXISTING	LVL	LAMINATED VENEER LUMBER
ALUM	ALUMINUM	EXT.	EXTERIOR	MATL.	MATERIAL
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	F.E.	FIRE EXTINGUISHER	MAX.	MAXIMUM
APPROX.	APPROXIMATE, APPROXIMATELY	FDN	FOUNDATION	MFR.	MANUFACTURER
B.O.	BOTTOM OF	FF	FACTORY FINISH	MIN.	MINIMUM
BD.	BOARD	FIN.	FINISHED	M.O.	MASONRY OPENING
BRG.	BEARING	F.O.	FACE OF	MOD	MODIFIED
CLG.	CEILING	FTG.	FOOTING	MTD	MOUNTED
CLR.	CLEAR	GA.	GAUGE	MTL	METAL
CMU	CONCRETE MASONRY UNIT	G.C.	GENERAL CONTRACTOR	NECY	NECESSARY
COL.	COLUMN	G.W.B.	GYP SUM WALL BOARD	N.I.C.	NOT IN CONTRACT
COLS.	COLUMNS	GYP.	GYP SUM	NO.	NUMBER
CONC.	CONCRETE	H	HIGH	N/A	NOT APPLICABLE
CONT.	CONTINUOUS	HB.	HOSE BIBB	O.C.	ON CENTER
COORD.	COORDINATE	HDW	HARDWARE	O.D.	OUTSIDE DIAMETER
D.S.	DOWNSPOUT	HM	HOLLOW METAL	OPP.	OPPOSITE
DIA.	DIAMETER	HDR	HEADER	P. LAM.	PLASTIC LAMINATE
DISP.	DISPLAY OR DISPENSER	HT.	HEIGHT	PART.	PARTITION, PARTIAL
DTL	DETAIL	H.W.	HOT WATER	PLYWD.	PLYWOOD
△	EGRESS WINDOW	I.D.	INSIDE DIAMETER	P.O.S.	POINT OF SALE
E.W.	EACH WAY	i.e.	THAT IS		
ELEC.	ELECTRIC, ELECTRICAL	INT	INTERIOR		
EPS	EXPANDED POLYSTYRENE FOAM INSULATION	INSUL.	INSULATION		
		JAN.	JANITOR		

## INDEX OF DRAWINGS

G-1	GENERAL NOTES
A-1	SOUTH-EAST-NORTH ELEVATIONS
A-2	PARTIAL FLOOR FRAMING PLAN
A-3	SECTIONS-PLUMBING AND ELECTRICAL
S-1	SITE PLAN

DRAFTING SERVICE:

SNOWY MOUNTAIN DESIGN  
1500 E. MAIN STREET  
LAKEWOOD, NY 14750  
(425) 238-7422



ENGINEER:

PETER RADKA  
ROCK HILL ENGINEERING, LLC  
6349 KINGS CORNER ROAD  
PANAMA, NY 14767  
(716) 782-2206

GENERAL NOTES  
GEORGIA COURT RESIDENCE  
36 SCOTT AVENUE  
CHAUTAUQUA, NY 14722

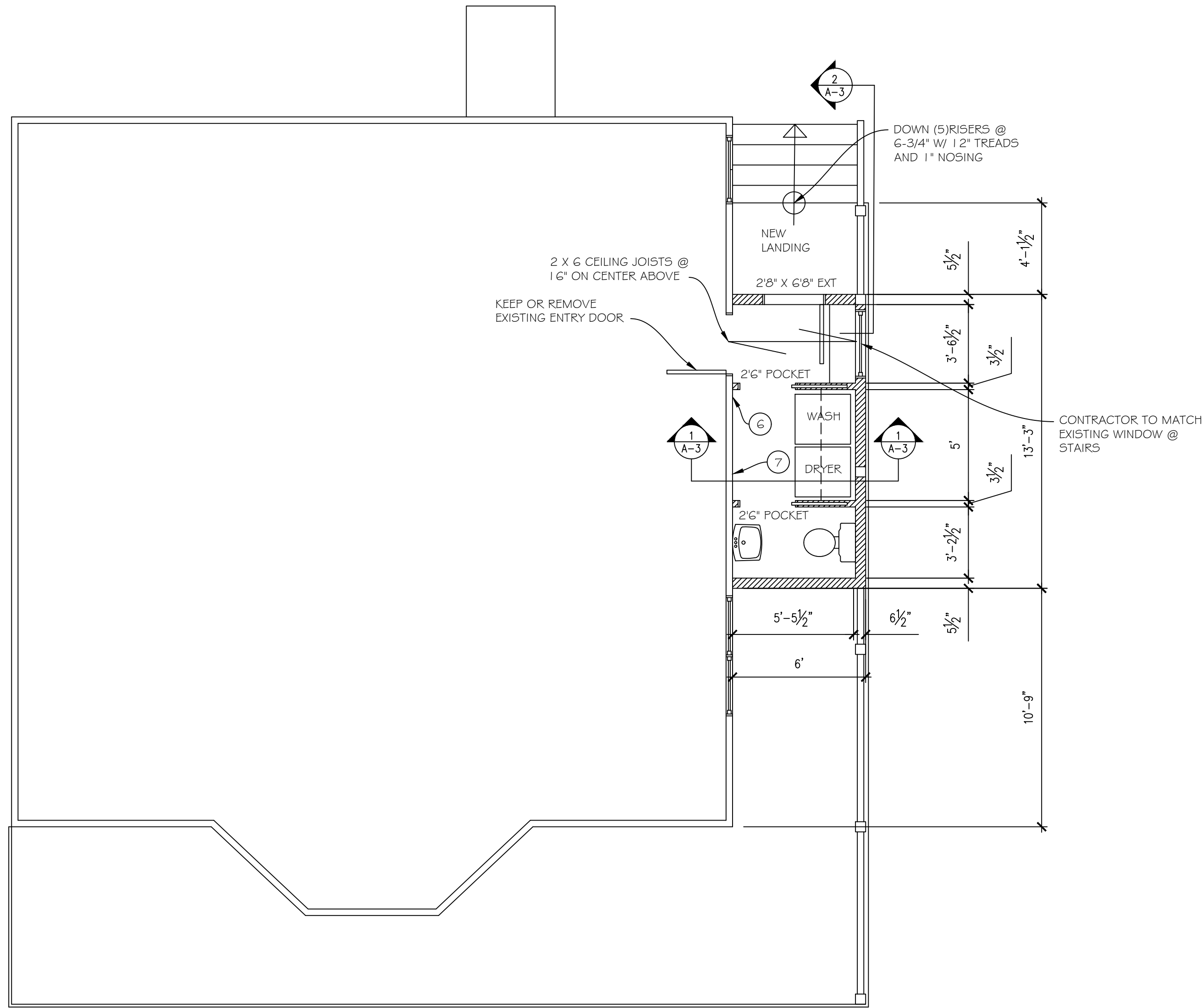
DRAWN:  
JOE FLIKEMA

DATE:  
12/1/2021

SHEET #:  
G1

1 OF 5



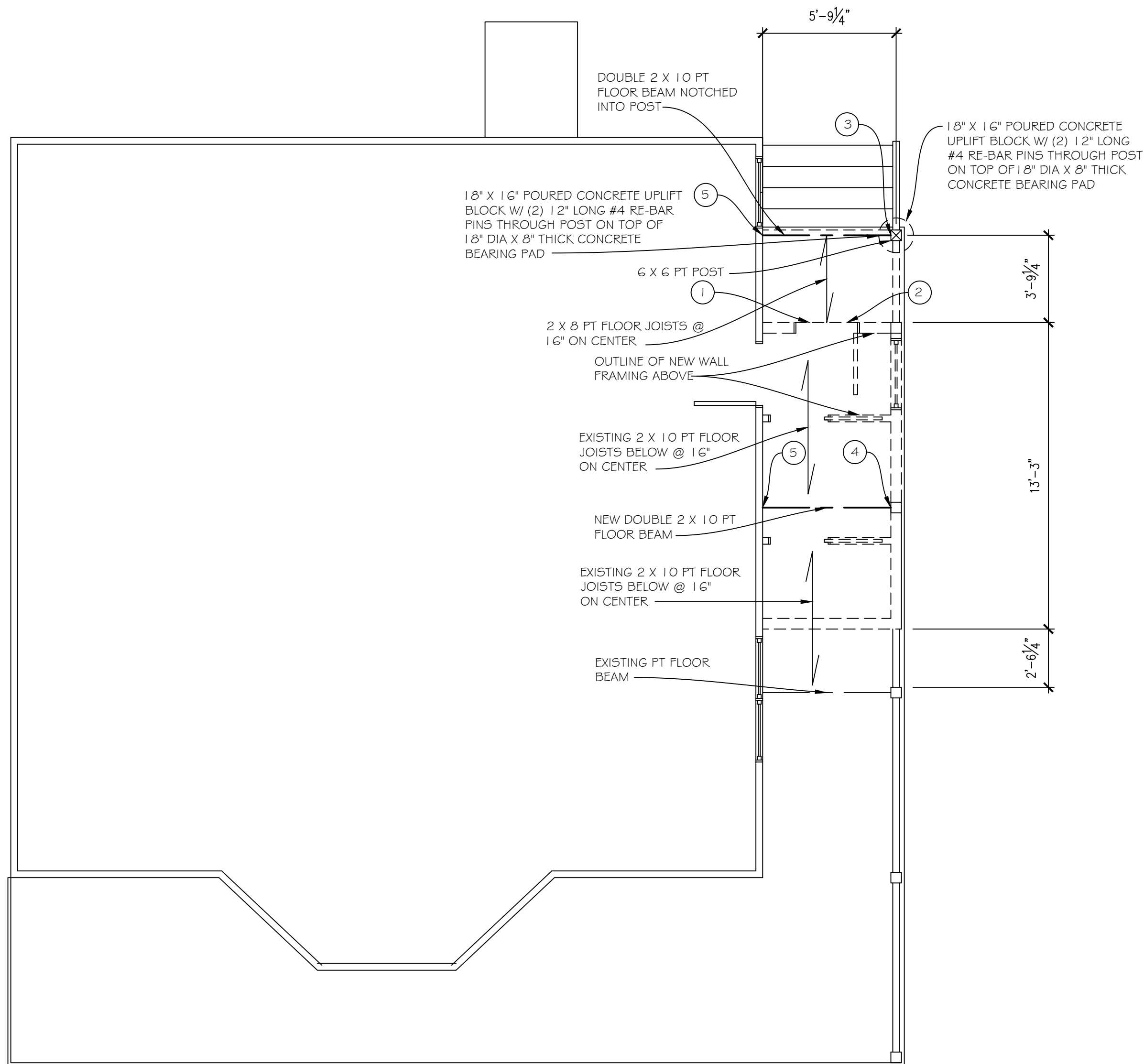


PARTIAL FLOOR PLAN

1/4" = 1'-0"

FRAMING NOTES

- 1 FASTEN 2 X 8 PT LEDGER TO BAND OVER SELF HEALING FLASHING WITH (2) 5" LEDGER LOCK SCREWS @ 16" ON CENTER
- 2 FASTEN 2 X 8 PT FLOOR JOISTS TO NEW 2 X 8 PT LEDGER WITH SIMPSON STRONG TIE U28 JOIST HANGERS
- 3 NOTCH DOUBLE 2 X 12 BEAM INTO 6 X 6 PT POST AS SHOWN ON SECTION, FASTEN WITH (3) 5" LEDGER LOCK SCREWS
- 4 FASTEN NEW DOUBLE 2 X 10 PT FLOOR BEAM TO EXISTING PT 6 X 6 POST WITH SIMPSON STRONG TIE HUC210-2 JOIST HANGER
- 5 FASTEN NEW DOUBLE 2 X 10 PT FLOOR BEAM TO EXISTING LEDGER WITH SIMPSON STRONG TIE THA218-2 ADJUSTABLE TRUSS HANGER
- 6 FASTEN 2 X 6 LEDGER TO WALL FRAMING AND EXISTING HEADER BEAM WITH (2) 5" LEDGER LOCK SCREWS @ 16" ON CENTER
- 7 FASTEN 2 X 6 CEILING JOISTS TO NEW 2 X 6 LEDGER WITH SIMPSON STRONG TIE U26 JOIST HANGERS



PARTIAL FRAMING PLAN

1/4" = 1'-0"

DRAWN:  
JOE FLIKEMA

DATE:  
12/1/2021

SHEET # A2  
3 OF 5

PARTIAL FLOOR FRAMING PLAN  
GEORGIA COURT RESIDENCE  
35 SOUTH AVENUE  
CHAUTAUQUE, NY 14722

ENGINEER:

PETER RADKA  
ROCK HILL ENGINEERING, LLC  
6949 KINGS CORNER ROAD  
PANAMA, NY 14767  
(716) 782-2206



DRAFTING SERVICE:

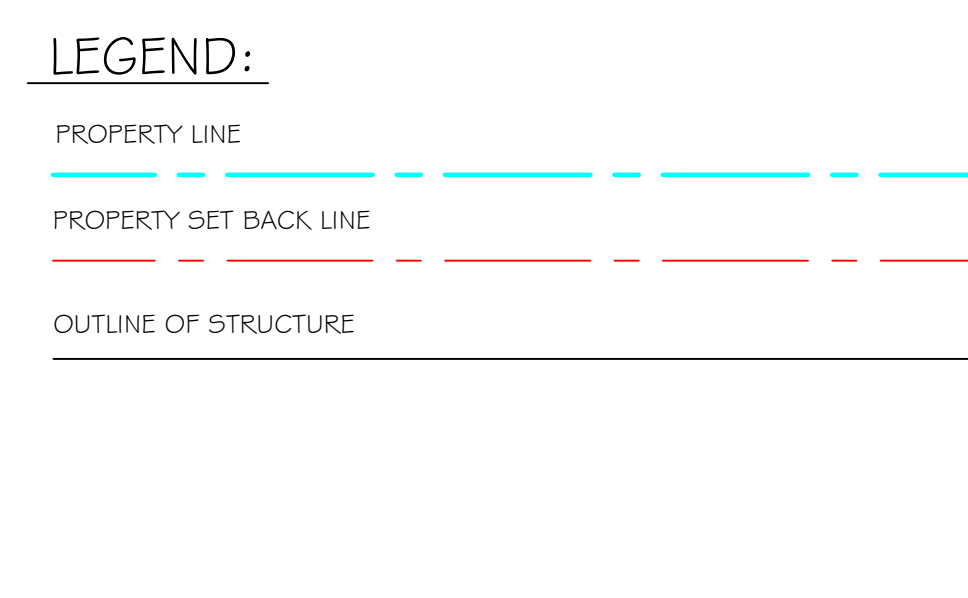
SNOWY MOUNTAIN DESIGN  
1000 STATE STREET  
LAKEWOOD, NY 14750  
(425) 238-7422







4


$$1/4'' = 1'-0''$$

SHEET #: 51