



OFFICE OF CAMPUS PLANNING & OPERATIONS

December 28, 2021

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

Dear Chautauquan,

The owner of 8-10 Peck Ave., (The Miller/Clinger Family) in the Neighborhood Traditional District is coming before the Architectural Review Board with plans to construct a new kitchen addition within the 10' rear-yard setback. Therefore, this project requires an Architectural Review Board review.

Variances/Requests being considered:

- 1) Construct a new kitchen addition within the 10' rear-yard setback; (ALU 4.4.6)

You are receiving this notification because your property is approximately within 150' of the proposed project site.

Plans for this project may be reviewed online at [Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://www.chq.org/arb/news-and-notes)

The Architectural Review Board will meet on Thursday **February 3, 2022, at 12:00 PM via Zoom conference**. See instructions for joining this conference below. Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to John Shedd at arb@ciweb.org until 12:00 noon on February 2, 2022.

Join Zoom Meeting

<https://us02web.zoom.us/j/83326374805>

Meeting ID: 833 2637 4805

One tap mobile

+16468769923,,83326374805# US (New York) 13126266799,,83326374805# US
+(Chicago)

Dial by your location

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+1 346 248 7799 US (Houston)

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Meeting ID: 833 2637 4805

Find your local number: <https://us02web.zoom.us/j/kcZwsQrIJQ>



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The Clinger Residence

8 & 10 Peck

Chautauqua Institution, Chautauqua, NY 14722

MAYSHARK
ARCHITECTURE | DESIGN | CONSTRUCTION
5073 West Lake Road
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DRAWING INDEX:

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General Notes:

- All interior partitions are wood stud and 1/2 GWB construction unless noted otherwise.
- All dimensions are from face of stud or face of existing construction unless noted otherwise
- Provide and install sound attenuation batt insulation in all rated partitions.
- Maintain all required fire separations when penetrating rated assemblies
- Do not cut or patch structural members in a manner that will compromise the load capacity of any member.

Applicable Codes:

2020 Residential Code of New York State
Single Family Home
2020 Fire Code of New York State
2020 Plumbing Code of New York State
2020 Mechanical Code of New York State



Existing Trash enclosure
with Concrete base to be
removed and replaced with
kitchen addition.

The Clinger Residence
8 & 10 Peck
Chautauqua, NY 14722

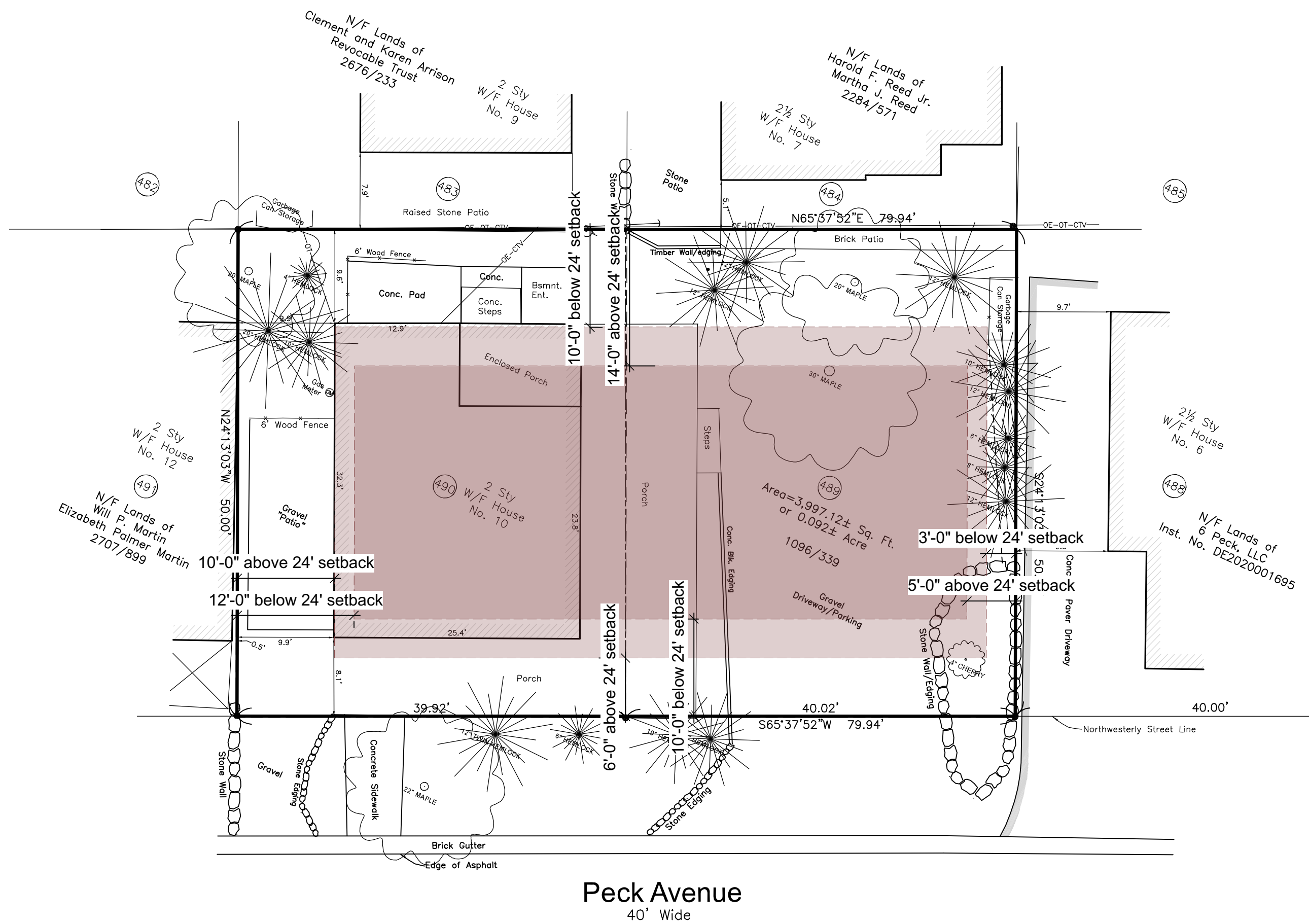
Drawn By MBI
Date 12.23.2021

No. Date

Cover Sheet

CS-1

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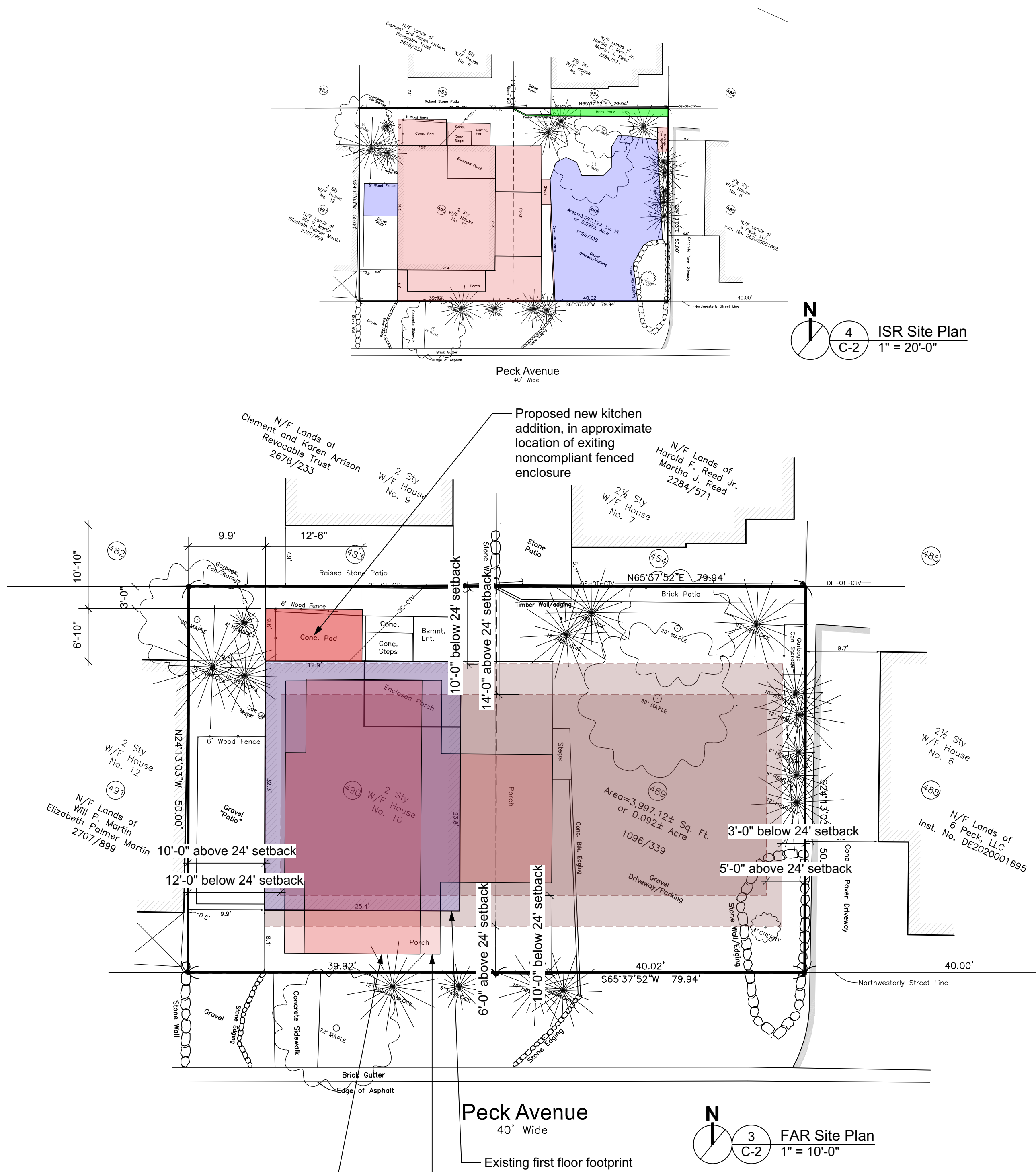
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Chautauqua, NY 14722

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No. Date

Site Survey

C-1



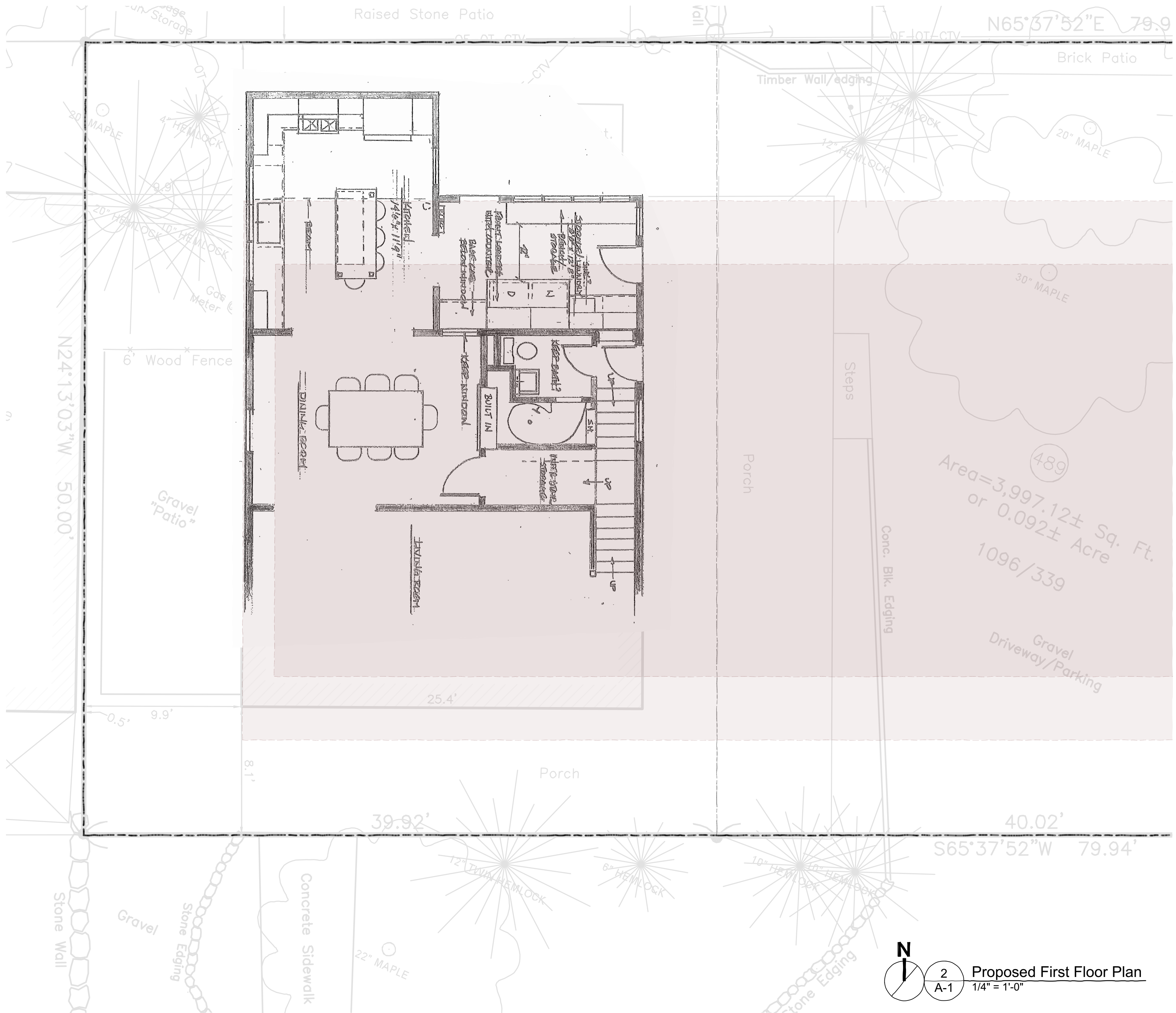
Impervious Surface Ratio (ISR) – Worksheet

Existing or Proposed	Proposed		
Site Address	8 & 10 Peck		
Total Lot Area	4,000 square feet		
Impervious Surfaces:			
Total building footprint	1,210 sf	X 100% =	1,210 sf
Total porches, decks, stairs, steps	480 sf	X 100% =	480 sf
Total concrete or asphalt walks & drives	0 sf	X 100% =	0 sf
Total gravel walks & drives	0 sf	X 90% =	0 sf
Total crushed or washed stone walks & drives	1,040 sf	X 10% =	104 sf
Total brick, pavers or flagstone set in min. sand or gravel base	70 sf	X 90% =	63 sf
Total brick, pavers or flagstone set in permeable bed	0 sf	X 10% =	0 sf
Other	0 sf	X % =	0 sf
Total Impervious Surface Area:			1,857 sf
1,857		/	4,000 = 46.43%
Total Impervious Surface Area	divided by	Total Lot Area =	ISR

Neighborhood Traditional DISTRICT			
	Allowable	Existing	Proposed
Min. Lot Width	40'-0"	80'-0"	80'-0"
Min. Lot Area	2,000	4,000	4,000
Maximum FAR	1.0	.588	.609
Maximum ISR	65%	46%	46%
Building Ht. Eave	24'-0"	Existing	Existing
Building Ht. Roof	36'-0"	Existing	Existing

Existing Floor Area Ratio's	Area	FAR	Exempt	Subtotal
First Floor	815	.204	-	0.0
Second Floor	960	.240	-	0.0
Third Floor	575	.144	-	0.0
Total FAR				.588

Proposed Floor Area Ratio's	Area	FAR	Exempt	Subtotal
First Floor	1,210	.204	-	0.0
Second Floor	960	.240	-	0.0
Third Floor	575	.144	-	0.0
Total FAR				.609



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First Floor Plan

A-1