



## OFFICE OF CAMPUS PLANNING & OPERATIONS

March 30th, 2022

### ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

Dear Chautauquan,

The owner of 13 Peck Avenue, Craig Marthinson in the Neighborhood Traditional District is coming before the Architectural Review Board with plans proposing a porch addition onto Chautauqua Institution property on two sides of their Building. The owners are requesting to purchase the property from Chautauqua Institution to accommodate the new work to the porch needed for handicapped accessibility. This requires a recommendation from the Architectural Review Board and an Architectural Review Board review for the following variances required for this scope of work.

Variances/Requests being considered:

- 1) Request the recommendation to sale of a portion of Chautauqua Institution property along Fletcher Ave. to accommodate new construction of a porch addition on the easterly side needed for handicapped accessibility;
- 2) Request for the ARB to recommend issuing a license to construct a new handicapped accessible ramp and new steps leading to the new porch on Chautauqua Institution property on the northerly side along Peck Avenue;
- 3) Exceed the maximum allowable impervious surface ratio (ISR) for construction of a new porch addition; (ALU 4.3.3)

You are receiving this notification because your property is approximately within 150' of the proposed project site.

Plans for this project may be reviewed online using the following link:

[Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://chq.org/architecture-review-board-arb-news-and-notes)

PO Box 28 / Chautauqua, NY 14722-0028  
716.357.6245 / 716.357.9014 (fax)  
[ARB@chq.org](mailto:ARB@chq.org) • [chq.org](https://chq.org)

The Architectural Review Board will meet on May 5th 2022 @ Noon **via Zoom conference**. See instructions for joining this conference below. Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the administrator of architectural and land use regulations at [arb@ciweb.org](mailto:arb@ciweb.org) until 12:00 noon on May 4th, 2022.

Join Zoom Meeting

<https://us02web.zoom.us/j/87493286509?pwd=enY5dm9XU09Rdk5qVGhVSIRGUXIhUT09>

Meeting ID: 874 9328 6509

Passcode: 0505

One tap mobile

+16468769923,,87493286509#,,,,\*0505# US (New York)

+13126266799,,87493286509#,,,,\*0505# US (Chicago)

Dial by your location

+1 646 876 9923 US (New York)

+1 312 626 6799 US (Chicago)

+1 301 715 8592 US (Washington DC)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 408 638 0968 US (San Jose)

Meeting ID: 874 9328 6509

Passcode: 0505

Find your local number: <https://us02web.zoom.us/j/krZD9GoHy>



**Ryan B. Boughton, Assoc. AIA**

Administrator of Architectural and Land Use Regulations

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**Chautauqua Institution**



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# Marthinson Residence

13 Peck Ave  
Chautauqua NY 14722



## DRAWING INDEX:

CS-1	Cover Sheet
SITE	
C-1	Site Plan
ARCHITECTURAL	
A-1	First Floor Plan
A-2	Elevations

## General Notes:

- All interior partitions are wood stud and 1/2 GWB construction unless noted otherwise.
- All dimensions are from face of stud or face of existing construction unless noted otherwise
- Provide and install sound attenuation batt insulation in all rated partitions.
- Maintain all required fire separations when penetrating rated assemblies
- Do not cut or patch structural members in a manner that will compromise the load capacity of any member.
- Coordinate with owner on all reused items

## Applicable Codes:

2020 Residential Code of New York State  
Single Family Home  
2020 Fire Code of New York State  
2020 Plumbing Code of New York State  
2020 Mechanical Code of New York State  
Chautauqua Institution - ALU-Regulations-Final-Nov2021

**MAYSHARK**  
ARCHITECTURE | DESIGN | CONSTRUCTION  
5073 West Lake Road  
Mayville, NY 14757  
Phone: (716) 386-6228  
Fax: (716) 386-4159  
Email: mbi@mayshark.com

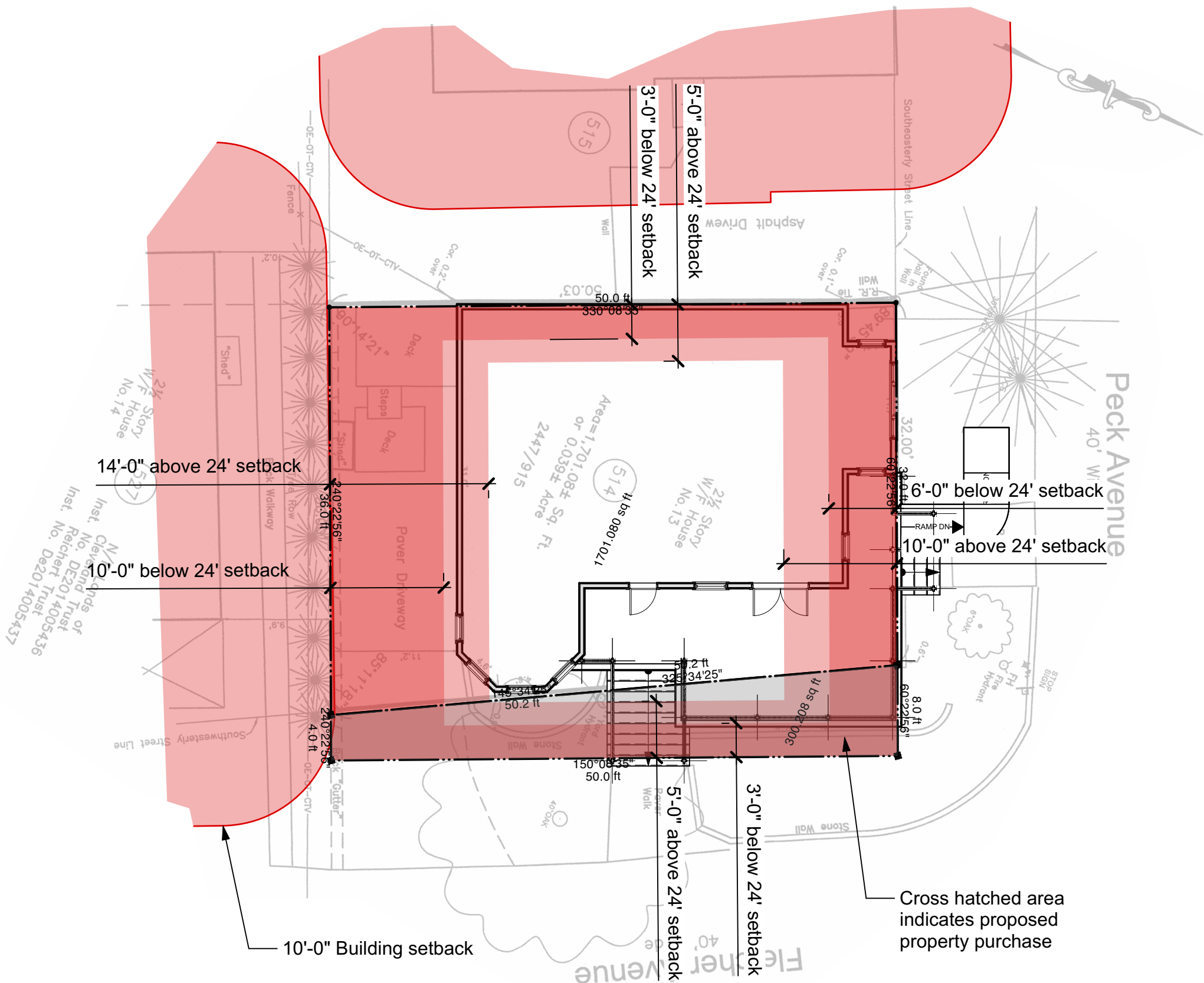
Marthinson Residence  
13 Peck Ave  
Chautauqua NY 14722

Drawn By	MBI
Date	03.22.2022
No.	Date

Cover Sheet

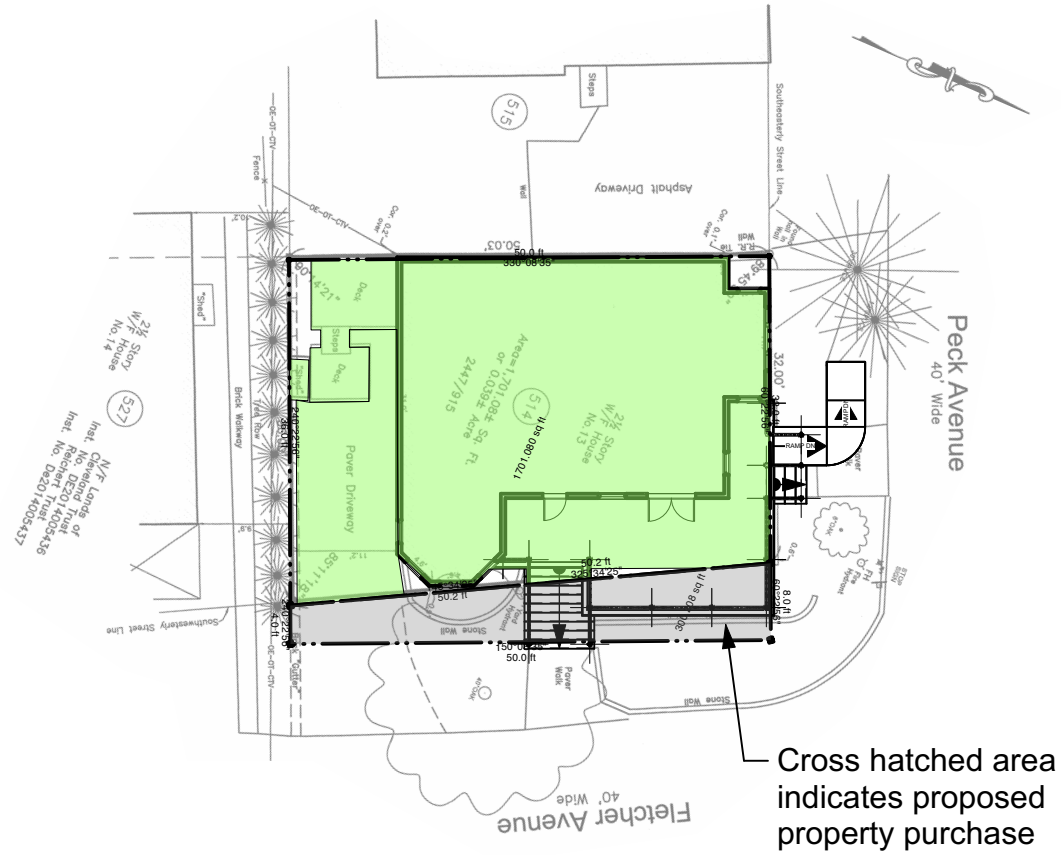
CS-1

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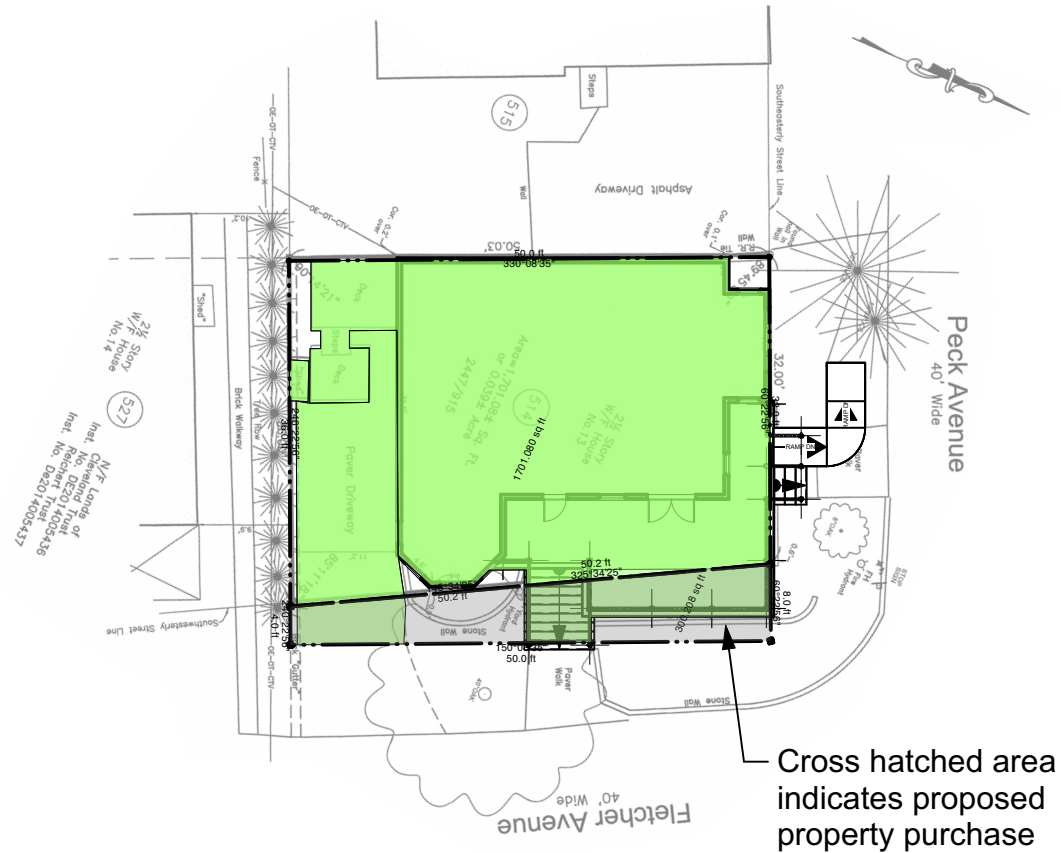


1 Site Plan  
1" = 10'-0"

Nieborhood Suburban DISTRICT			
	Allowable	Existing	Proposed
Min. Lot Width	40'-0"	34'-0"	40'-0"
Min. Lot Area	2,000	1,701	2,000
Maximum FAR	1.0	ExNC	ExNC
Maximum ISR	50%	95%	90%
Building Ht. Eave	24'-0"	ExNC	ExNC
Building Ht. Roof	36'-0"	ExNC	ExNC
ExNC = Existing No Change			



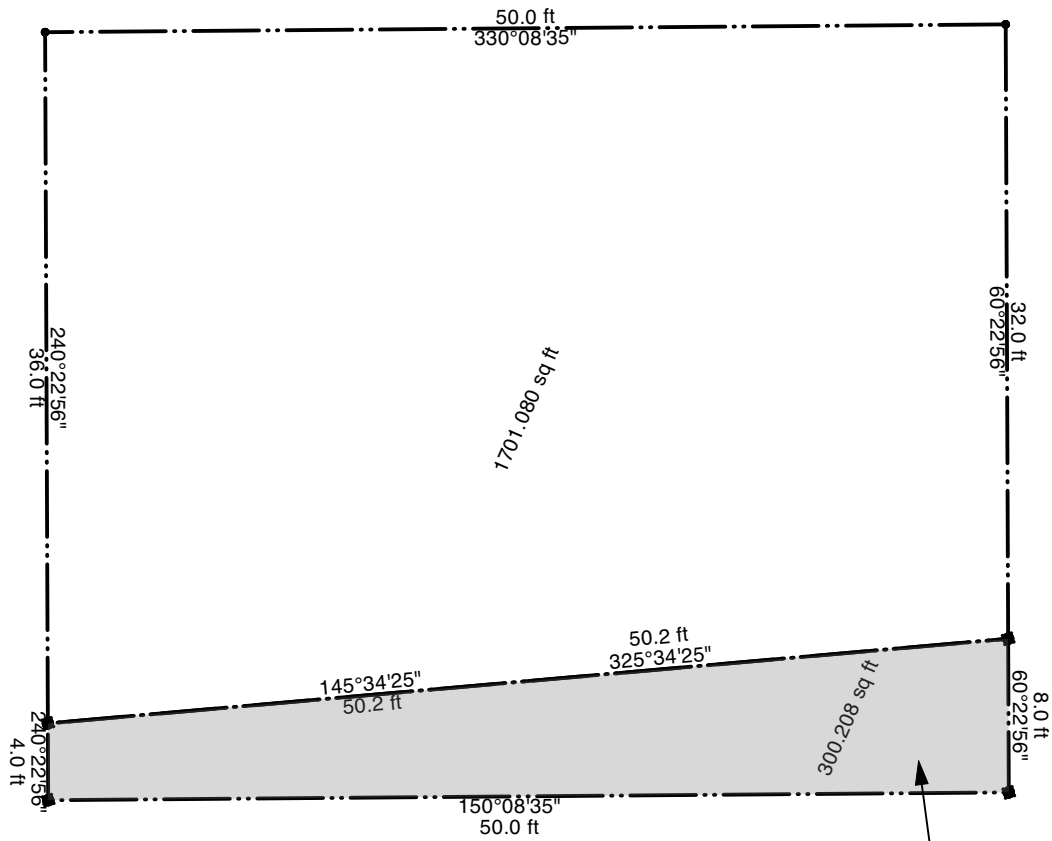
2 Existing ISR Site Plan  
1" = 20'-0"



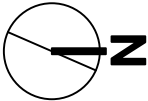
3 Proposed Site Plan  
1" = 20'-0"



5073 West Lake Road  
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Grey area indicates  
proposed property  
purchase



4  
C-1.2

Site Expansion Plan  
1" = 10'-0"

Marthinson Residence  
13 Peck Ave  
Chautauqua NY 14722

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No.	Date

Site Acquisition Plan

C-1.2



5073 West Lake Road  
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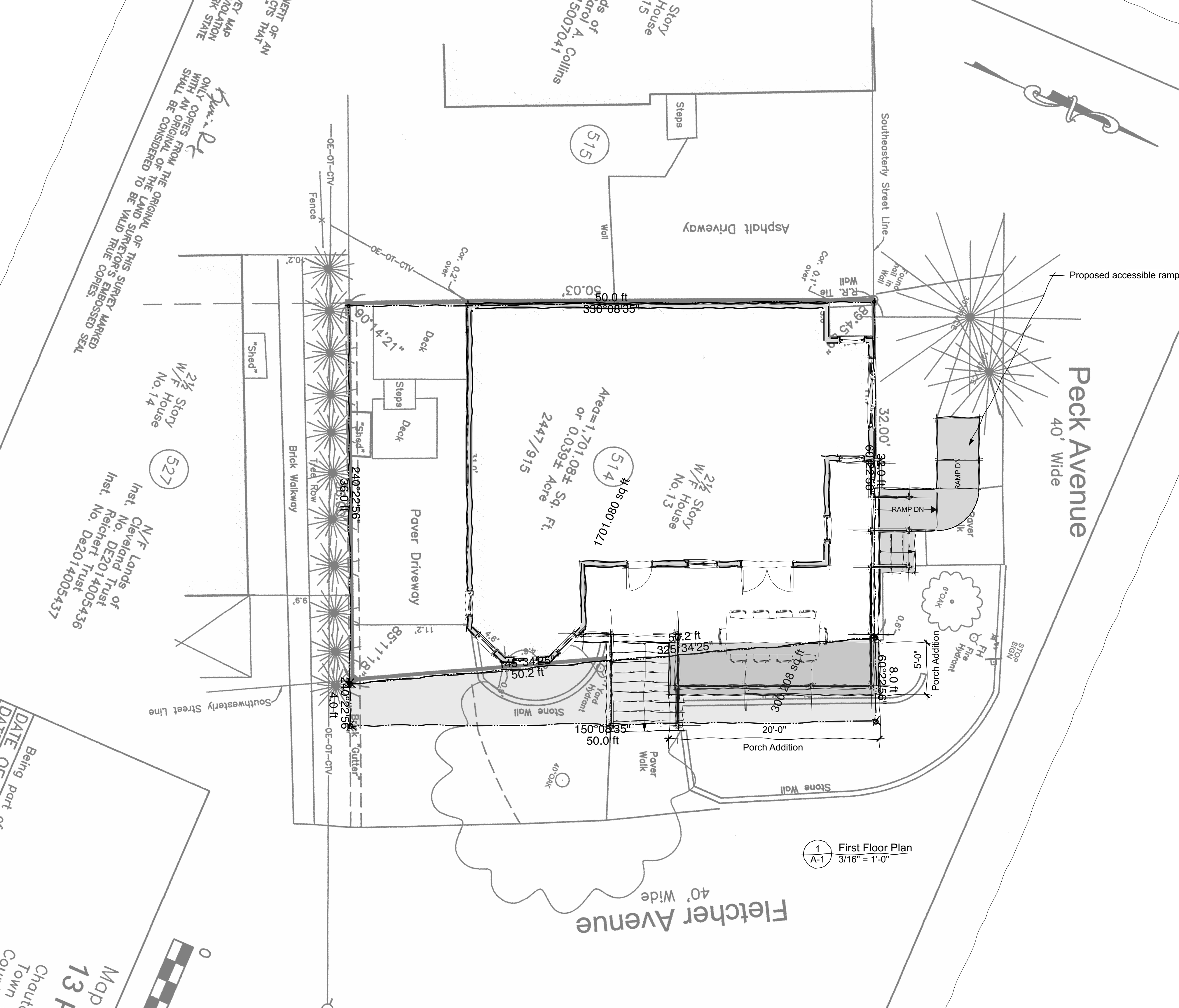
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13 Peck Ave  
Chautauqua NY 14722

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First Floor Plan

A-1

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Marthinson Residence  
13 Peck Ave  
Chautauqua NY 14722

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Elevations  
Drawing Border  
**A-2**



5 East Elevation  
A-2 3/16" = 1'-0"



7 South Elevation  
A-2 3/16" = 1'-0"