



OFFICE OF CAMPUS PLANNING & OPERATIONS

March 30th, 2022

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

Dear Chautauquan,

The owners of the Barge Residence at 4 Irving, in Neighborhood Traditional District are coming before the Architectural Review Board with a proposal for the improvement of a non-conforming foundation and porch to allow for the construction of a partial new foundation and 2nd floor porch. Therefore, this project requires an Architectural Review Board review for the following variance required for this scope of work.

Variances/Requests being considered:

- 1) -Exceed the allowable impervious surface ratio (existing structure already exceeds the max. allow. ISR, but proposed new construction will actually DECREASE the ISR) (ALU 4.4.3)
- 2) Exceed the maximum allowable floor area ratio (F.A.R.) (existing structure already exceeds max. all. F.A.R.) (ALU 4.4.3)
- 3) -Improvements to a non-conforming foundation and porch within a 5'-0" rear yard Setback (ALU 4.4.6)
- 4) Improvements to a non-conforming foundation and porch less than 10'-0" from a neighboring Structure. (ALU 4.4.6)
- 5) Partial Demolition of the original partial foundation and porch deck and reconstruction using appropriate waterproofing membrane and flashings. (ALU 6.11.2)

You are receiving this notification because your property is approximately within 150' of the proposed project site.

Plans for this project may be reviewed online using the following link:

[Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://www.chq.org/architecture-review-board-arb-news-and-notes)

PO Box 28 / Chautauqua, NY 14722-0028
716.357.6245 / 716.357.9014 (fax)
ARB@chq.org • [chq.org](https://www.chq.org)

The Architectural Review Board will meet on May 5th 2022 @ Noon **via Zoom conference**. See instructions for joining this conference below. Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the administrator of architectural and land use regulations at arb@chq.org until 12:00 noon on May 4th, 2022.

Join Zoom Meeting

<https://us02web.zoom.us/j/87493286509?pwd=enY5dm9XU09Rdk5qVGhVSIRGUXIhUT09>

Meeting ID: 874 9328 6509

Passcode: 0505

One tap mobile

+16468769923,,87493286509#,,,,*0505# US (New York)

+13126266799,,87493286509#,,,,*0505# US (Chicago)

Dial by your location

+1 646 876 9923 US (New York)

+1 312 626 6799 US (Chicago)

+1 301 715 8592 US (Washington DC)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 408 638 0968 US (San Jose)

Meeting ID: 874 9328 6509

Passcode: 0505

Find your local number: <https://us02web.zoom.us/j/krZD9GoHy>



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Administrator of Architectural and Land Use Regulations

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The Barge Residence

#4 Irving Place

Chautauqua Institution, Chautauqua, NY 14722

MAYSHARK
ARCHITECTURE | DESIGN | CONSTRUCTION
5073 West Lake Rd.
Mayville, New York 14757
Phone: 716-386-6228
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1 Proposed Building
CS-1 NTS



2 Existing Building
CS-1 NTS

DRAWING INDEX:

CS-1 -COVER SHEET

SITE
C-1 -SITE PLANS

ARCHITECTURAL
A-1 -FLOOR PLAN
A-2 -ELEVATIONS

General Notes:

- All interior partitions are wood stud and 1/2 GWB construction unless noted otherwise.
- All dimensions are from face of stud or face of existing construction unless noted otherwise
- Provide and install sound attenuation batt insulation in all rated partitions.
- Maintain all required fire separations when penetrating rated assemblies
- Do not cut or patch structural members in a manner that will compromise the load capacity of any member.

Applicable Codes:

2020 Residential Code of New York State
Single Family Home
2020 Fire Code of New York State
2020 Plumbing Code of New York State
2020 Mechanical Code of New York State
Chautauqua Institution - ALU-Regulations-Final-Nov2021

Neighborhood Traditional District - Zero rear and side yard setback

	Allowable	Existing	Proposed
Min. Lot Width	40'-0"	40'-0"	40'-0"
Min. Lot Area	2,000	2,000	2,000
Maximum FAR	1.0	2.007	2.005
Maximum ISR	75%	78.99%	77.90%
Building Ht. Eave	24'-0"	Not Compliant	Not Changing
Building Ht. Roof	36'-0"	Not Compliant	Not Changing

Note - ISR increases is minor addition to first floor porch to simplify construction
 - ISR decrease is the removal of a side yard basement entrance.
 - ISR is a NET decrease

Proposed Floor Area Ratio's	Area	FAR	Exempt	Subtotal
Basement	1,408	.704	-	.704
First Floor	919	.459	-	.459
Second Floor	853	.426	-	.427
Third Floor	831	.415	-	.415
Total FAR				2.005

Note: - Minor Decrease in second floor FAR is the removal of the bay window

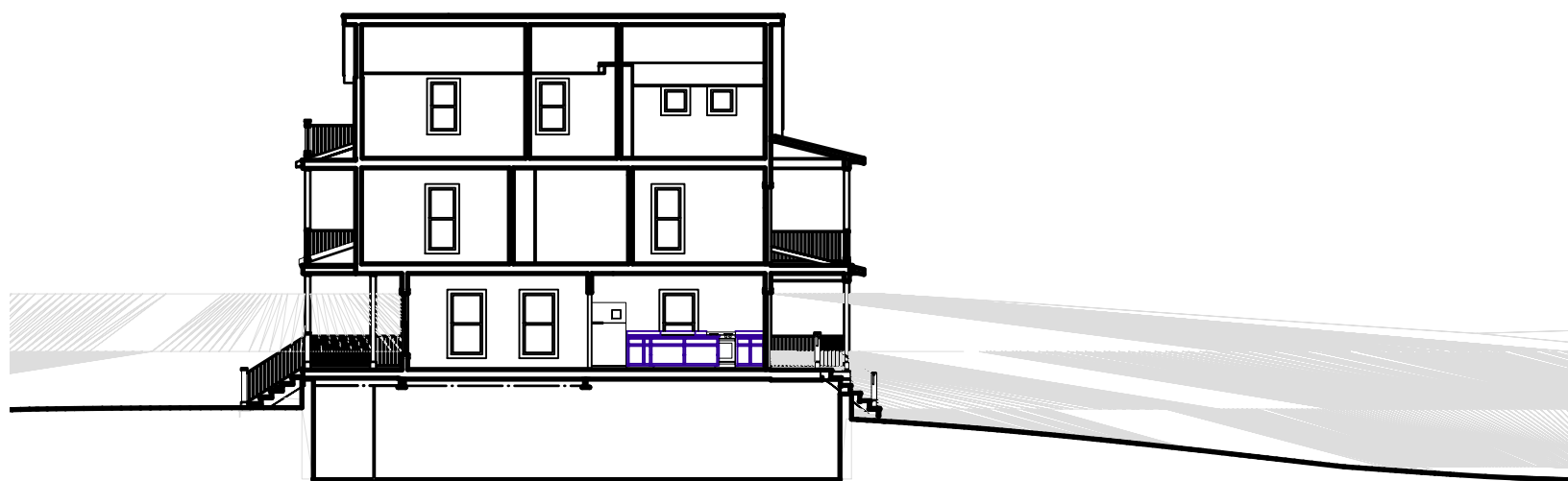
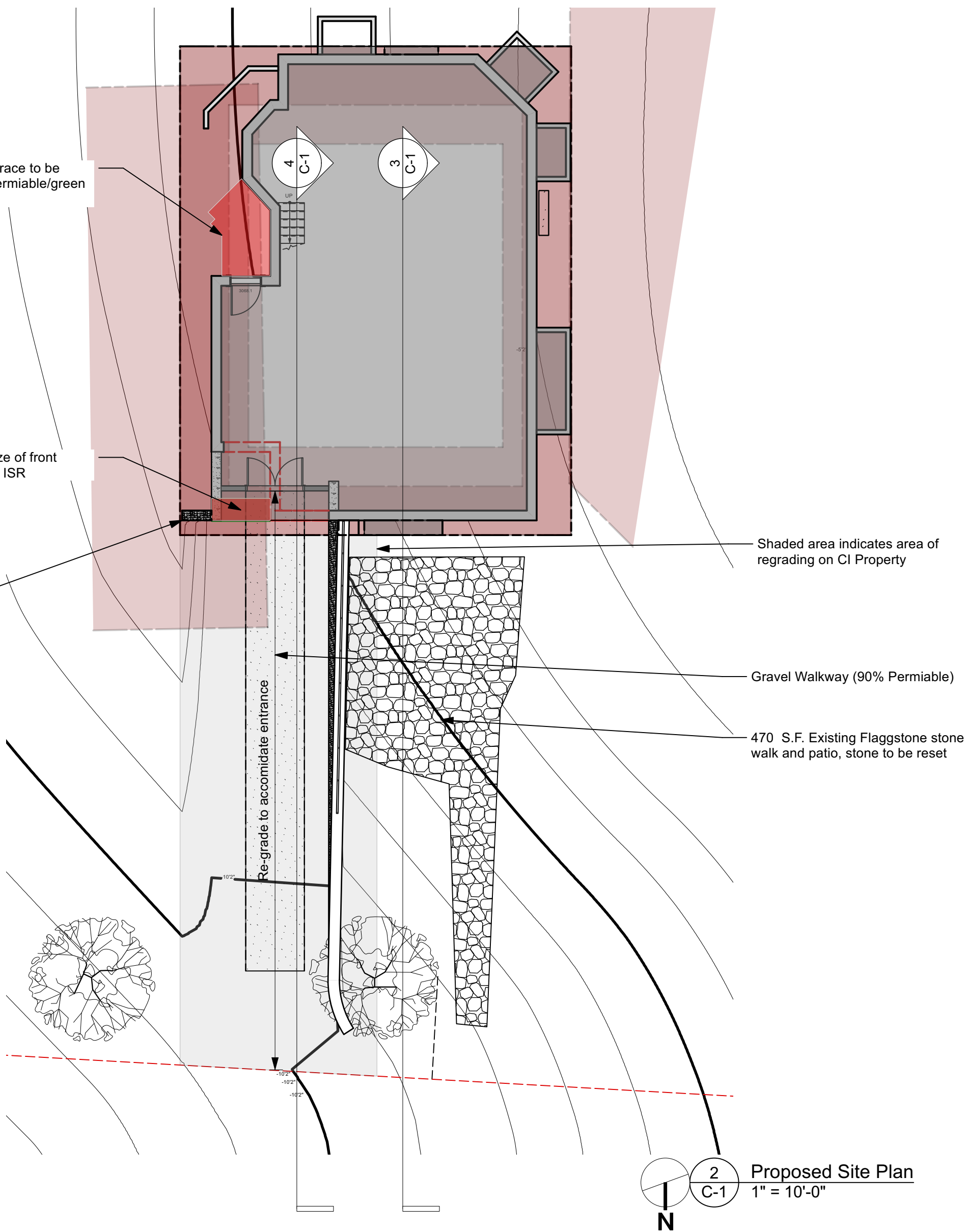
Steve and Kathe Barge
4 Irving Place
Chautauqua NY 14722

Drawn By MBI
Date 03.24.2022

No. Date

Cover Sheet

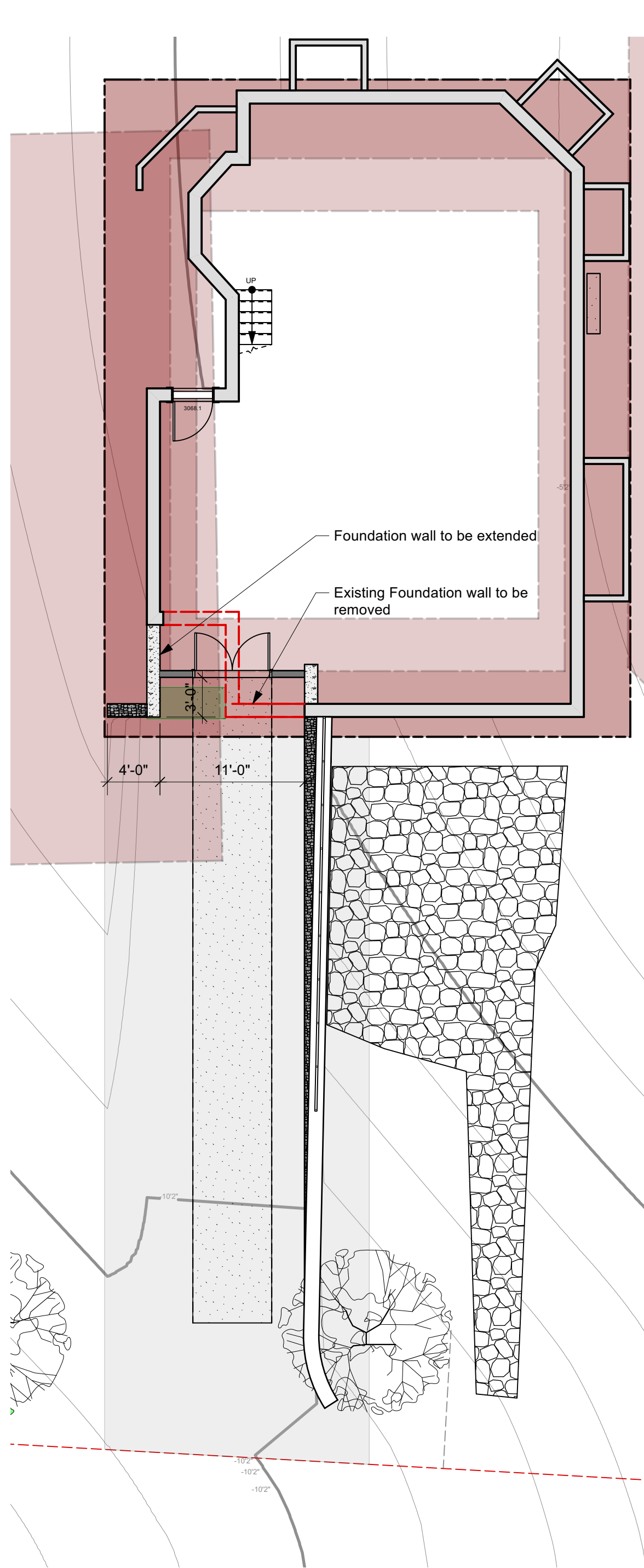
CS-1



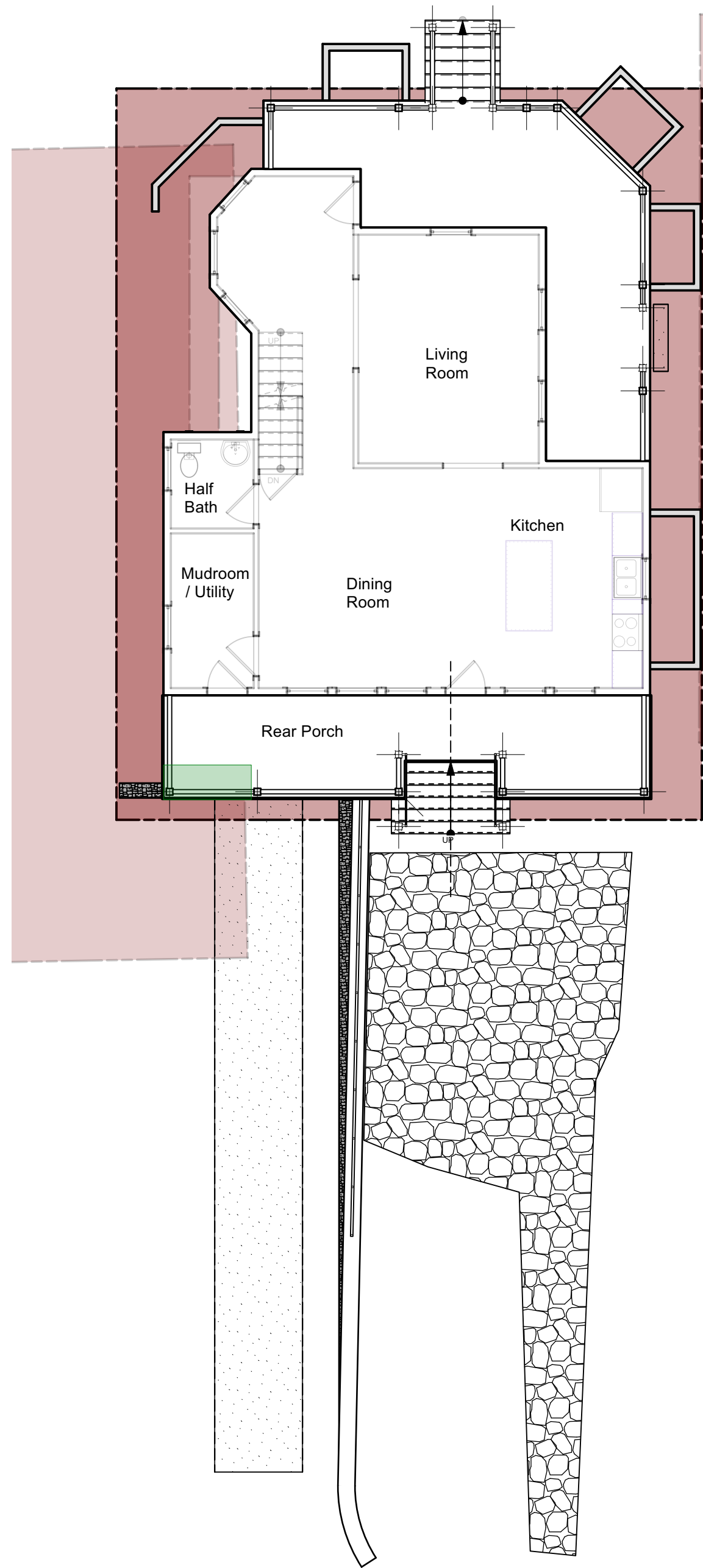
3 Site Section
C-1 1/16" = 1'-0"

2	Proposed Site Plan
C-1	1" = 10'-0"

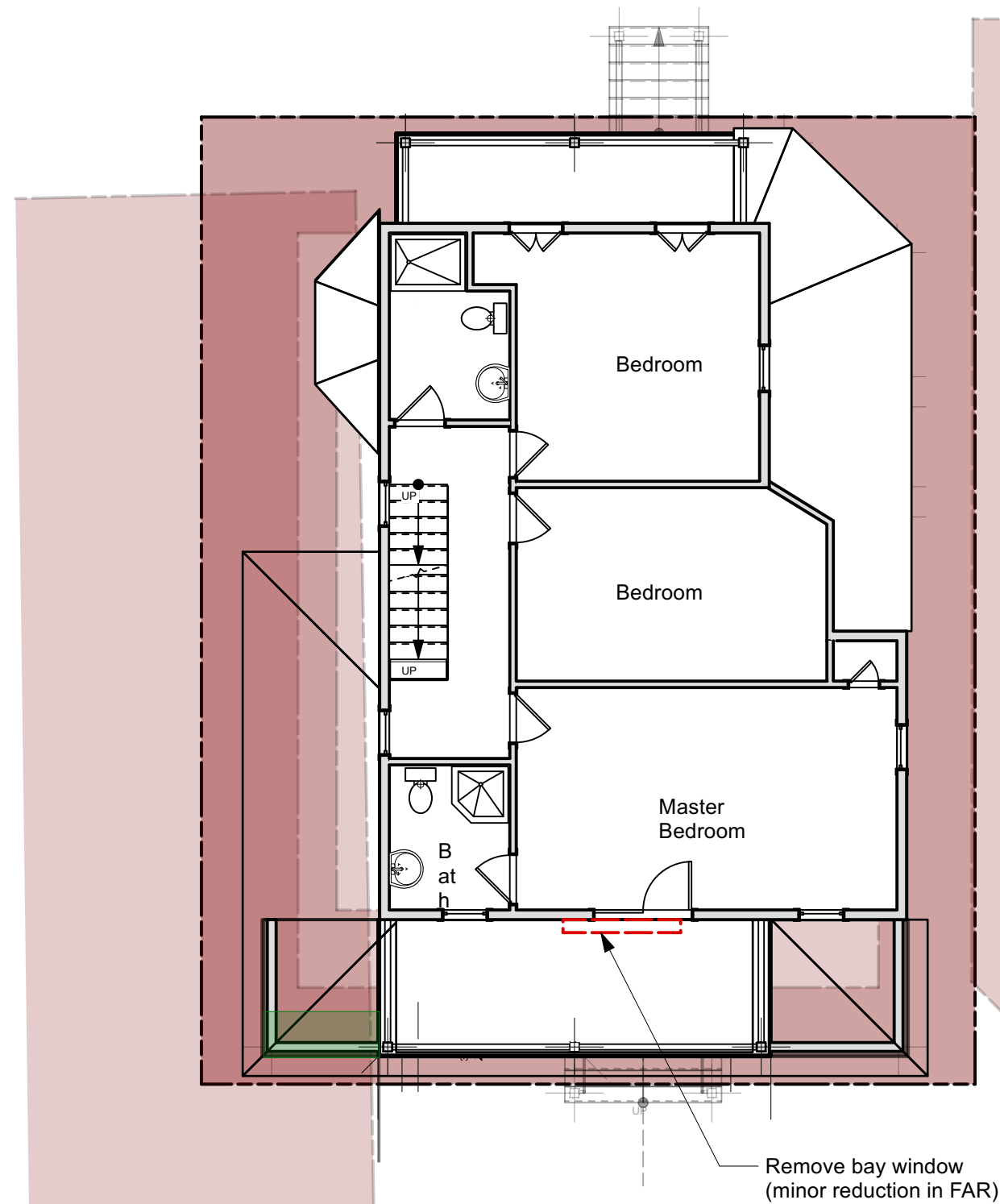
4	Site Section
C-1	1/16" = 1'-0"



1
A-1 Basement Plan
1/8" = 1'-0"



2
A-1 First Floor Plan
1/8" = 1'-0"



3
A-1 Second Floor Plan
1/8" = 1'-0"

4 Irving Place
Impervious Surface Ratio (ISR) – Worksheet

Existing or Proposed	Proposed	
Site Address	4 Irving Place	
Total Lot Area	2000 square feet	
<u>Impervious Surfaces:</u>		
Total building footprint	1408 sf	X 100% = 1408 sf
Total porches, decks, stairs, steps	16 sf	X 100% = 16 sf
Total concrete or asphalt walks & drives	0 sf	X 100% = 0 sf
Total gravel walks & drives	0 sf	X 90% = 0 sf
Total crushed or washed stone walks & drives	9 sf	X 10% = .9 sf
Total brick, pavers or flagstone set in min. sand or gravel base	0 sf	X 90% = 0 sf
Total brick, pavers or flagstone set in permeable bed	0 sf	X 10% = 0 sf
Other Retaining wall/ Window wells	6/130 sf	X % = 6/130 sf
<u>Total Impervious Surface Area:</u>		1561 sf
1561	/	2000 = 78%
Total Impervious Surface Area divided by Total Lot Area = ISR		

Note: Building footprint is the basement area which has porches above

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Steve and Kathe Barghe
4 Irving Place
Chautauqua NY 14722

Drawn By MBI
Date 03.24.2022

No. Date

Floor Plans

A-1



2 Rear Elevation
A-2 Scale: 1/8" = 1'-0"

- Notes:
- Existing fascia, soffits and trims to be maintained and repaired
 - East Elevation not drawn to be recladd in its entirety
 - West Elevation not drawn to be recladd in its entirety
 - This should complete the project started in 2015



3 Existing construction (Streetscape)
A-2 NTS

Barge Variance request 03.22.2021

4.4.3 ISR is existing not conforming

- we are proposing to remove impervious surface equal to what is being added

4.4.6 Building Setbacks

- Rear yard setback not specified below 24' is 5'-0"
 - we are proposing to improve and existing non conforming porch, by altering the second story to allow for a sloped roof structure and a smaller occupiable porch
 - Please note a similar project was approved in 2015 allowing for a full second story porch our current request is for partial.
- Less than 10'-0" from neighboring structure
 - Approximately 14.25 sq.ft. is being requested to be added to the existing first floor porch, to simplify construction over the Basement French door entrance
- Rear Yard
 - We are Proposing to add a covered porch 20'x7' on the second floor. The remainder of the first floor porch will covered by a roof.

6.11.2 Demolition.

- The original roof porch construction was not built to adequately shed water, the flashings on the roof were improperly installed or omitted. The only technically feasible approach included demolition of the porch roof structure to inspect for deteriorated structural elements and to reconstruct using proper flashings and roofing
- The original porch deck construction was not constructed to include a basement underneath of it and adequate water proofing was not installed when the house was lifted and the basement was installed under it. The only technically feasible approach includes demolition of the porch deck structure and reconstruction using proper waterproofing membrane and flashings.
- Please note a similar project at this address was approved in 2015 allowing for a reconstruction of the existing porch and an addition of second story porch our current request is for partial.

Chautauqua Institution Property Impervious Surface Ratio (ISR) – Worksheet

Existing or Proposed	Proposed		
Site Address	4 Irving Place		
Total Lot Area	<u>2213</u> square feet		
<u>Impervious Surfaces:</u>			
Total building footprint	<u>0</u> sf	X 100% =	<u>0</u> sf
Total porches, decks, stairs, steps	<u>17</u> sf	X 100% =	<u>17</u> sf
Total concrete or asphalt walks & drives	<u>0</u> sf	X 100% =	<u>0</u> sf
Total gravel walks & drives	<u>0</u> sf	X 90% =	<u>0</u> sf
Total crushed or washed stone walks & drives	<u>294</u> sf	X 10% =	<u>29.4</u> sf
Total brick, pavers or flagstone set in min. sand or gravel base	<u>0</u> sf	X 90% =	<u>0</u> sf
Total brick, pavers or flagstone set in permeable bed	<u>470</u> sf	X 10% =	<u>47</u> sf
Other Retaining wall	<u>856</u> sf	X <u>%</u> =	<u>75</u> sf
<u>Total Impervious Surface Area:</u>			<u>168</u> sf
<u>168</u>	/	<u>2213</u> =	<u>7.6%</u>
Total Impervious Surface Area divided by Total Lot Area = ISR			