



OFFICE OF CAMPUS PLANNING & OPERATIONS

March 24th 2023

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

Dear Chautauquan,

The owners of 4 Vincent Avenue, Terry Walkerly and Kris Putnam-Walkerly, in the Mixed Use Core District, are coming before the Architectural Review Board with plans proposing a restoration of their home. The proposed scope of work including the replacement of substandard foundations and porches as they wrap around the house, as well as a substantial restoration of the Building itself to bring it back to a historic single family home from its current use as multifamily residences. This project's scope of work includes variances for the proposed work on the porches with encroachments on the northern, eastern, and southern sides of the Building, a variance for proposed work within 10" of a neighboring Building, as well as a request for a license to encroach with a new deck onto Chautauqua property on the southern side of the property, and a request to remove the existing 24" maple located on adjacent Chautauqua Institution property. Therefore, this project requires an Architectural Review Board review for the following considerations required for the proposed scope of work.

Variances/Requests being considered:

- 1) Request to improve porches with an existing encroachment over the N/E property line along North Terrace Avenue (ALU 6.3)
- 2) Request to improve porches with an existing encroachment over the S/E property line facing Vincent Avenue (ALU 6.3)
- 3) Variance for construction within 10'-0" of a neighboring Building (ALU 4.3.6)
- 4) Variance to exceed the maximum Floor Area Ratio for the Mixed Use Core District of 1.37 by reducing the FAR of the Building from 2.27 to 2.19 (ALU 4.3.3)
- 5) Request for a license to encroach onto Chautauqua Institution with a proposed deck on the S/E side of the property facing Vincent Avenue (ALU 5.14.6)
- 6) Variance to exceed the maximum impervious surface area ratio (.25 for corner lots) for property owned by Chautauqua Institution to connect a property to the street (ALU 5.8.3.2)
- 7) Request for the removal of the existing 24" maple from the adjacent Chautauqua Institution property along Vincent Avenue (ALU 5.13.7)
- 8) Variance to exceed the maximum height of 24" for a retaining wall to contain the slope on-site (ALU 5.7.3.8)

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project may be reviewed online using the following link:

PO Box 28 / Chautauqua, NY 14722-0028

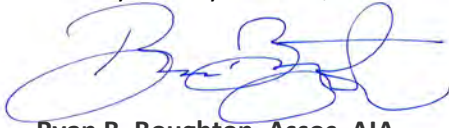
716.357.6245 / 716.357.9014 (fax)

ARB@chq.org • chq.org

[Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://chq.org)

The Architectural Review Board will meet on May 4th 2023 at the **Turner Community Center, conference room, at 12:00pm noon**. See instructions for attending this conference below. Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the administrator of architectural and land use regulations at arb@chq.org until 12:00 noon on May 3rd 2023.

Thank you for your time,

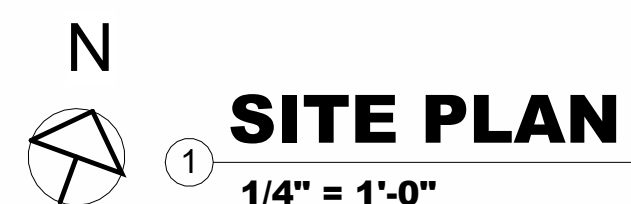


Ryan B. Boughton, Assoc. AIA

Administrator of Architectural and Land Use Regulations

rboughton@chq.org | o: 716.357.6245

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COVER AND SITE PLAN

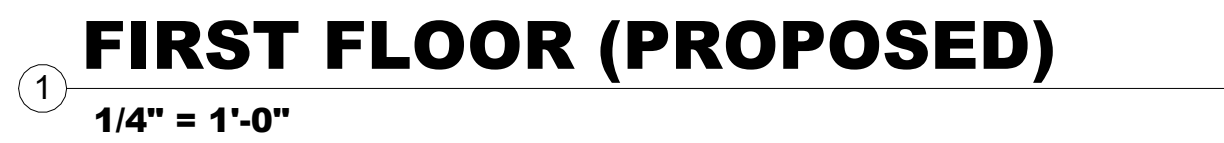
WALKERLY RESIDENCE

4 VINCENT AVENUE
CHAUTAUQUA INSTITUTION
CHAUTAUQUA, NEW YORK 14722

REVISION NUMBER	
SCALE:	1/4" = 1'-0"
DATE:	03-22-23
DRAWN BY:	CC/DK
SHEET NUMBER:	22-116

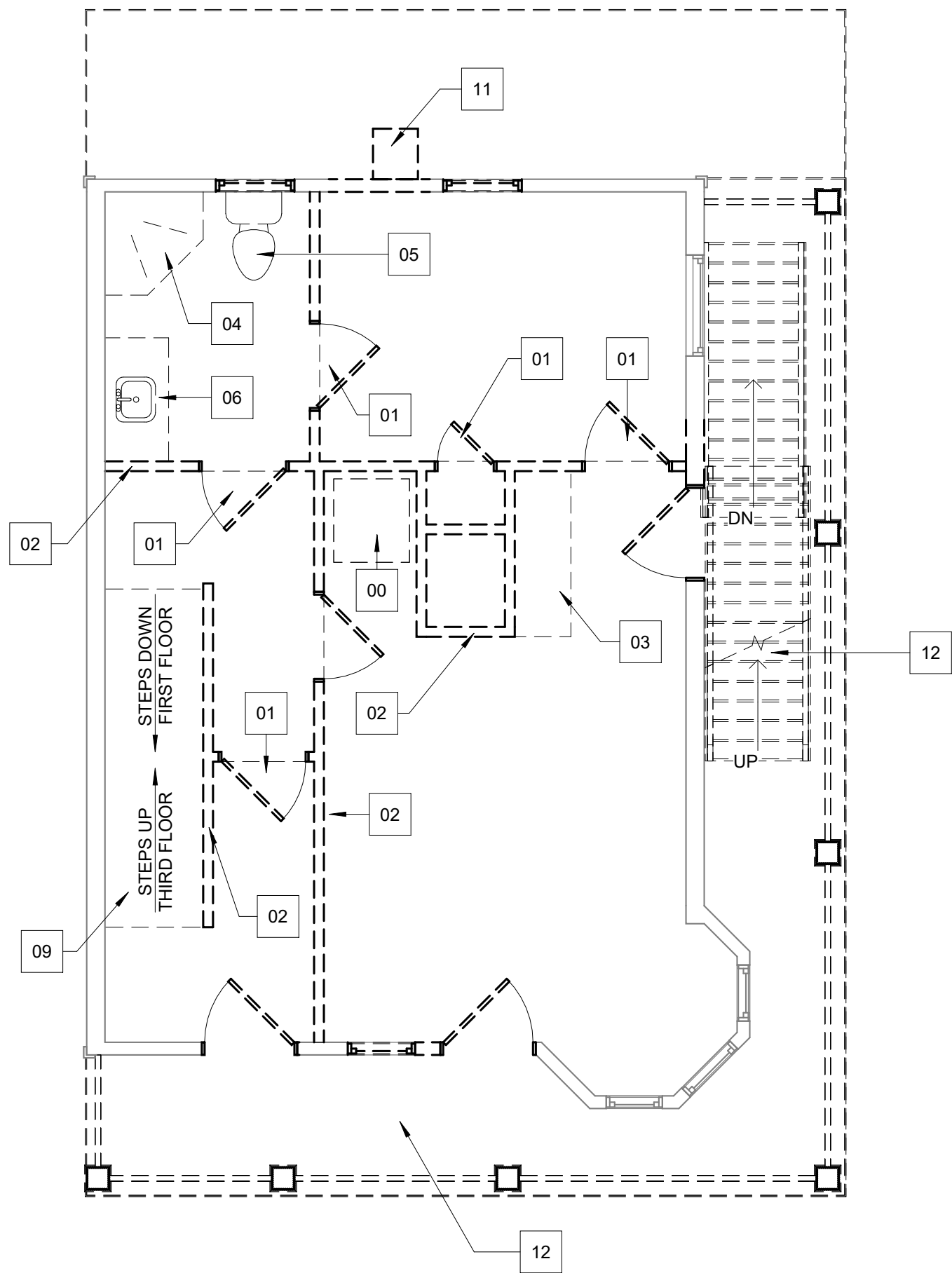
EET NUMBER:

A1.0



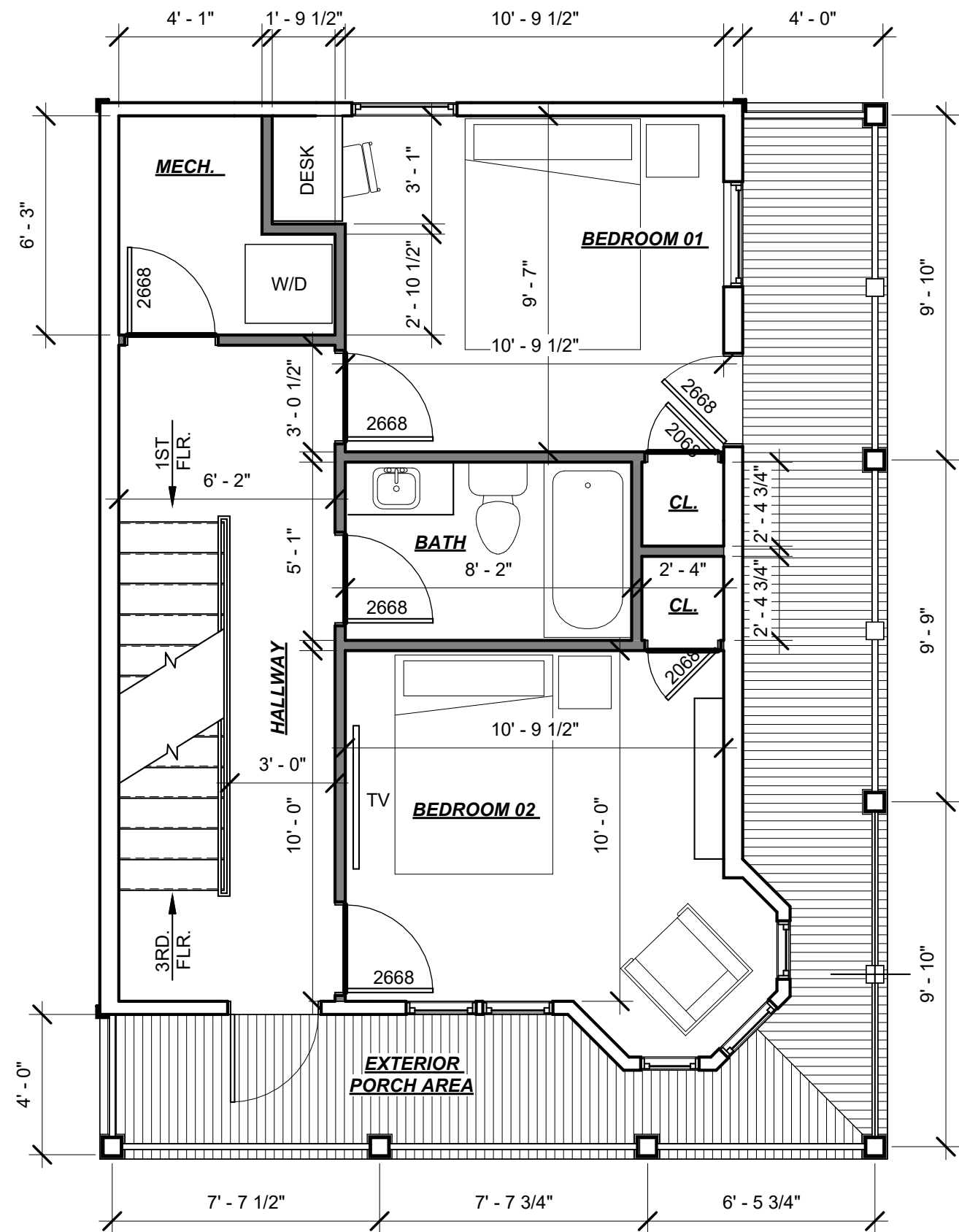
- ## DEMOLITION NOTES

A1.1



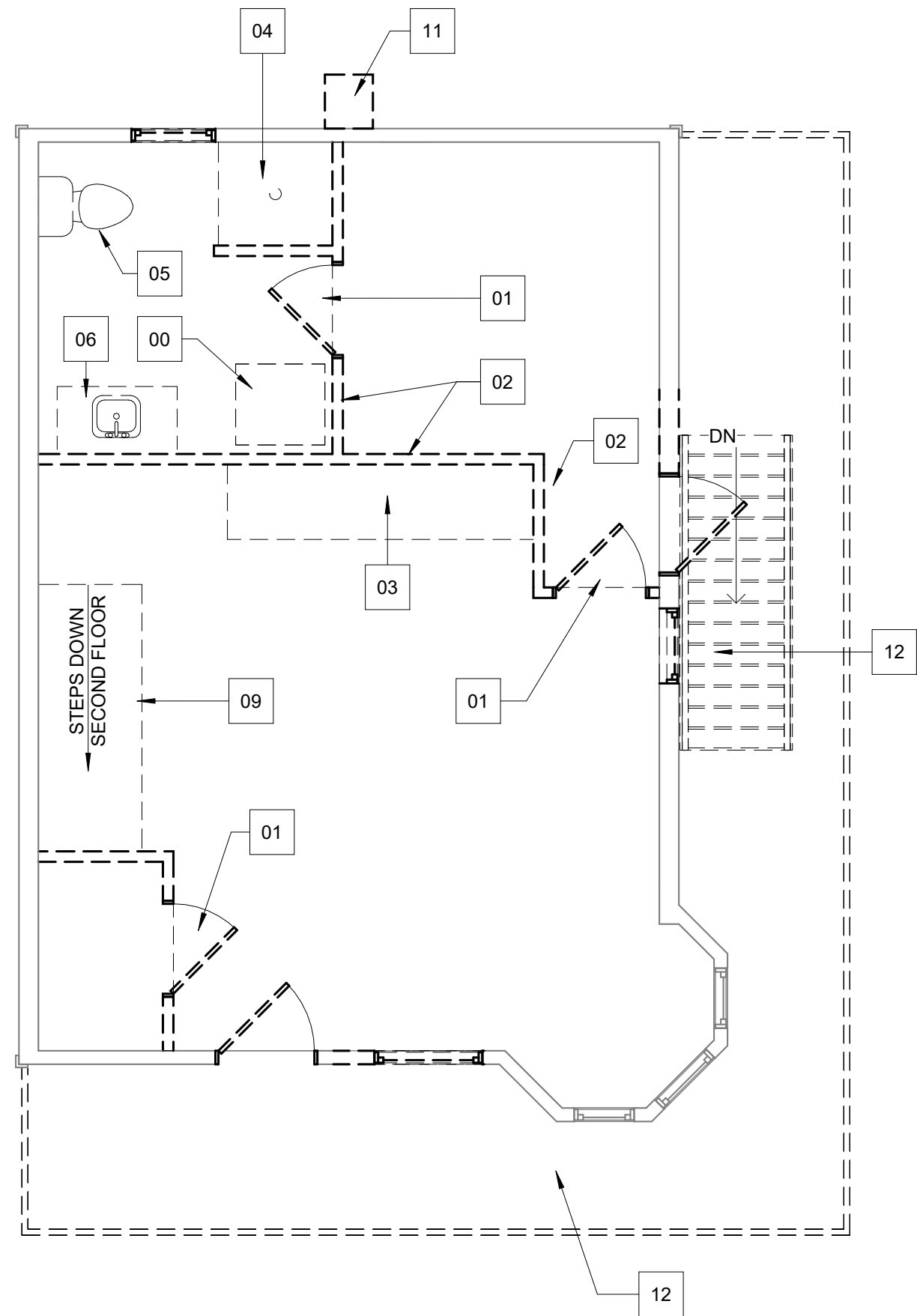
SECOND FLOOR (DEMO PLAN)

1/4" = 1'-0"



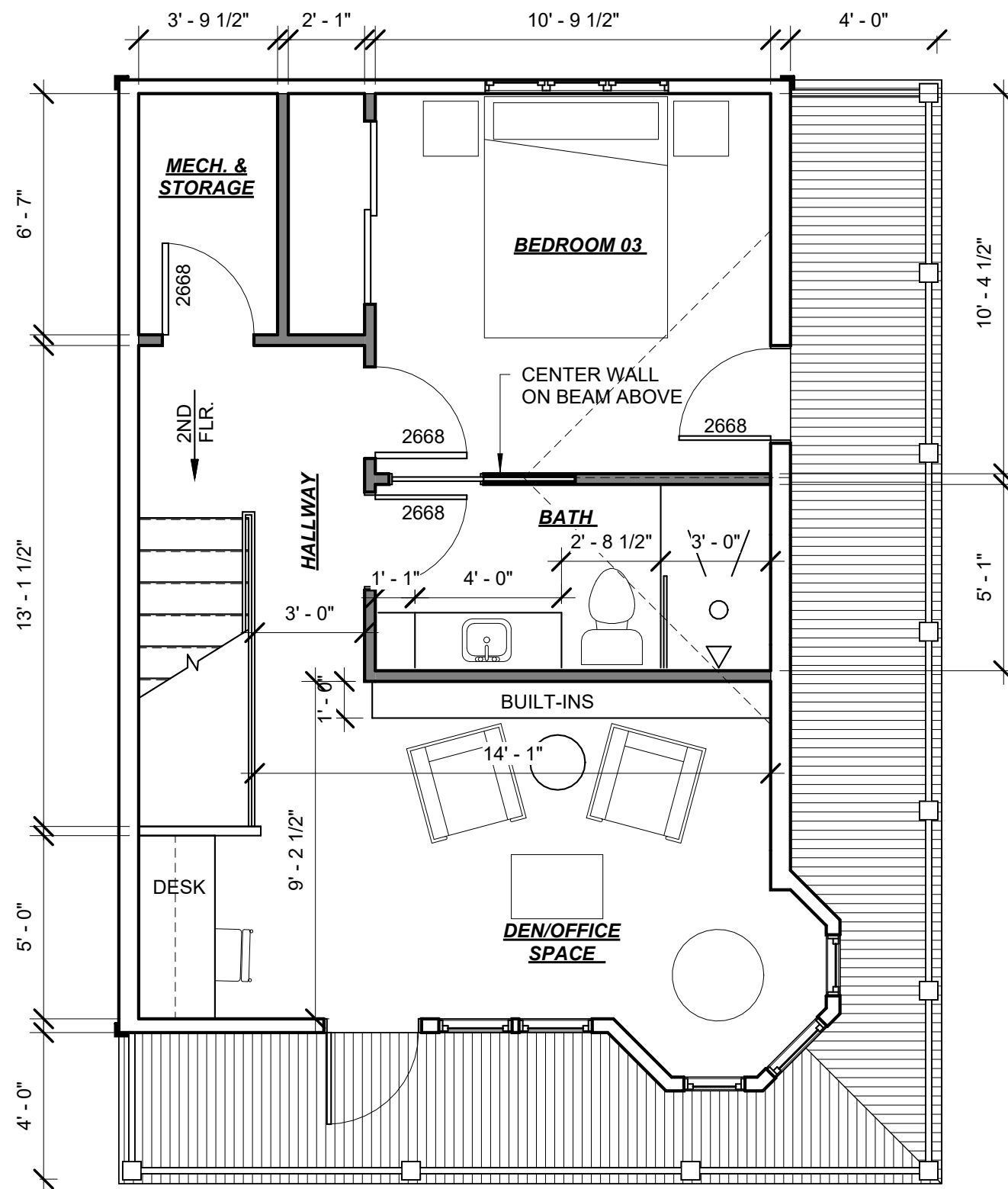
SECOND FLOOR (PROPOSED)

1/4" = 1'-0"



THIRD FLOOR (DEMO PLAN)

1/4" = 1'-0"



THIRD FLOOR (PROPOSED)

1/4" = 1'-0"

- 01 EXISTING DOOR(S) TO BE REMOVED.
- 02 EXISTING WALL(S) TO BE REMOVED
- 03 EXISTING KITCHEN COUNTER(S), FIXTURE(S), CASEWORK, AND APPLIANCE(S) TO BE REMOVED
- 04 EXISTING SHOWER/TUB TO BE REMOVED
- 05 EXISTING TOILET(S) TO BE REMOVED
- 06 EXISTING SINK/VANTY TO BE REMOVED
- 07 EXISTING CLOSET TO BE REMOVED
- 08 EXISTING WINDOW(S) TO BE REMOVED
- 09 EXISTING STAIR(S) TO BE REMOVED
- 10 EXISTING EXTERIOR STORAGE TO BE REMOVED
- 11 EXISTING CHIMNEY TO BE REMOVED
- 12 EXISTING PORCHES TO RECONSTRUCTED (FLOORS, CEILINGS, COLUMNSS, RAILS)

DEMOLITION NOTES

1 1/2" = 1'-0"

GENERAL NOTES:
DRAWINGS PRODUCED BY CHRISTOPHER J. COOKE
DESIGNS PLANS ARCHITECTURAL DRAWINGS AND WORK
USE, REPRODUCE, DISCLOSE, AND PUBLISH ANY DESIGNS,
SMALLER SCALE TO ANY CLAIM ON THE PART OF THE OWNER
OR BUILDER.



DEMOLITION AND PROPOSED PLANS

WALKERLY RESIDENCE

4 VINCENT AVENUE
CHAUTAUQUA INSTITUTION
CHAUTAUQUA, NEW YORK 14722

REVISION NUMBER REVISION DATE

SCALE: As indicated

DATE: 03-22-23

DRAWN BY: CC

PROJECT NUMBER: 22-116

SHEET NUMBER:

A1.2

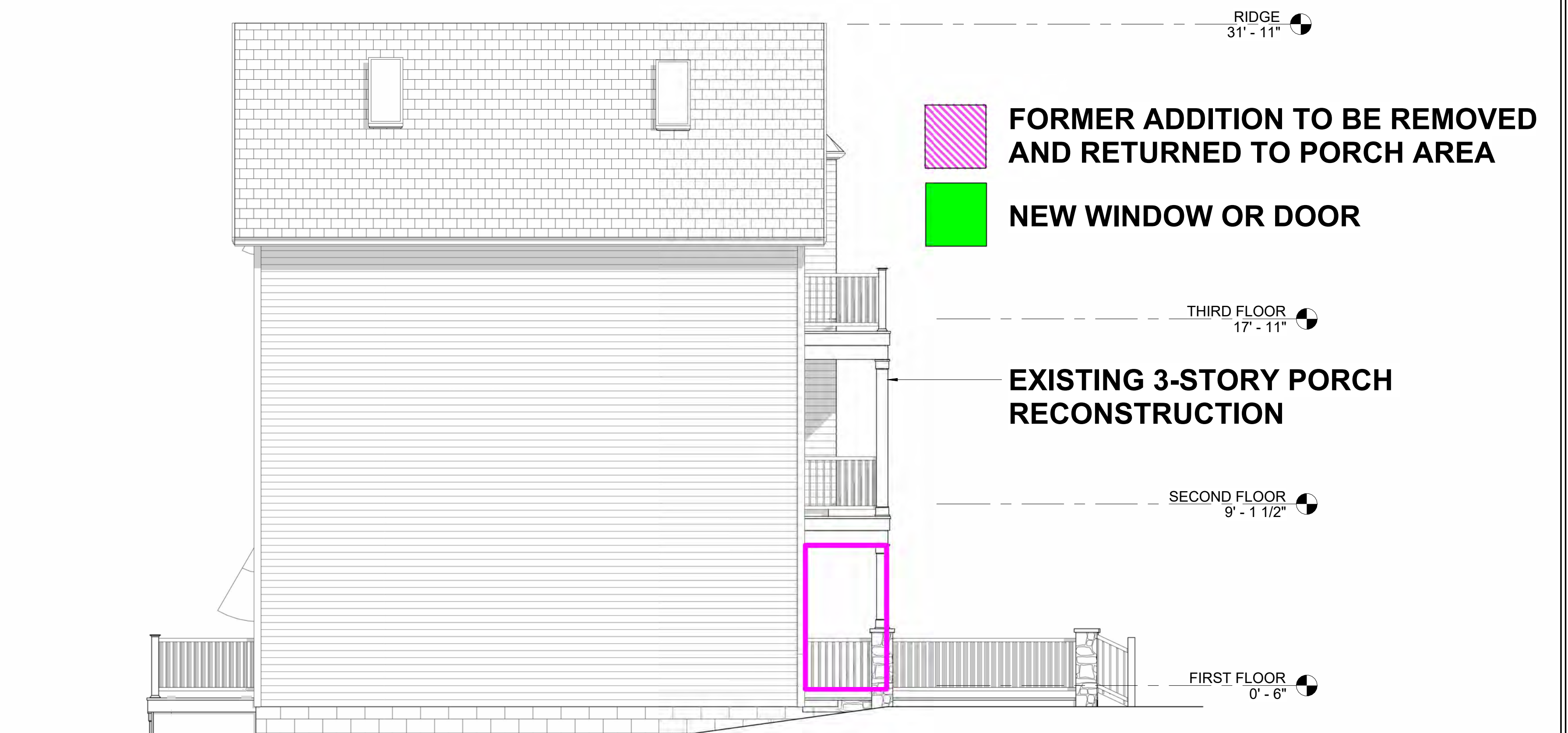
CHRIS COOKE
ARCHITECTURE[illegible]

A1.3

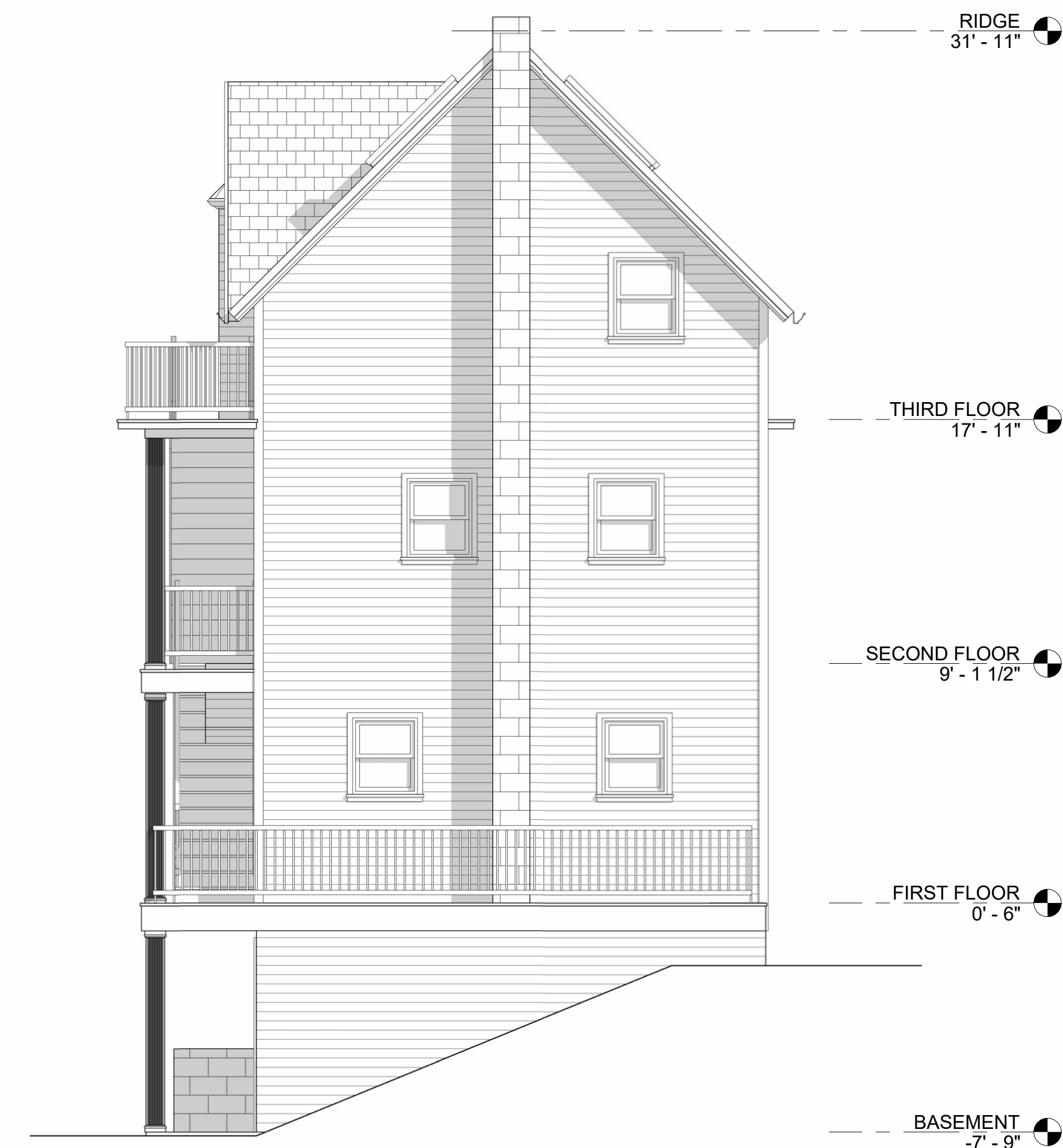




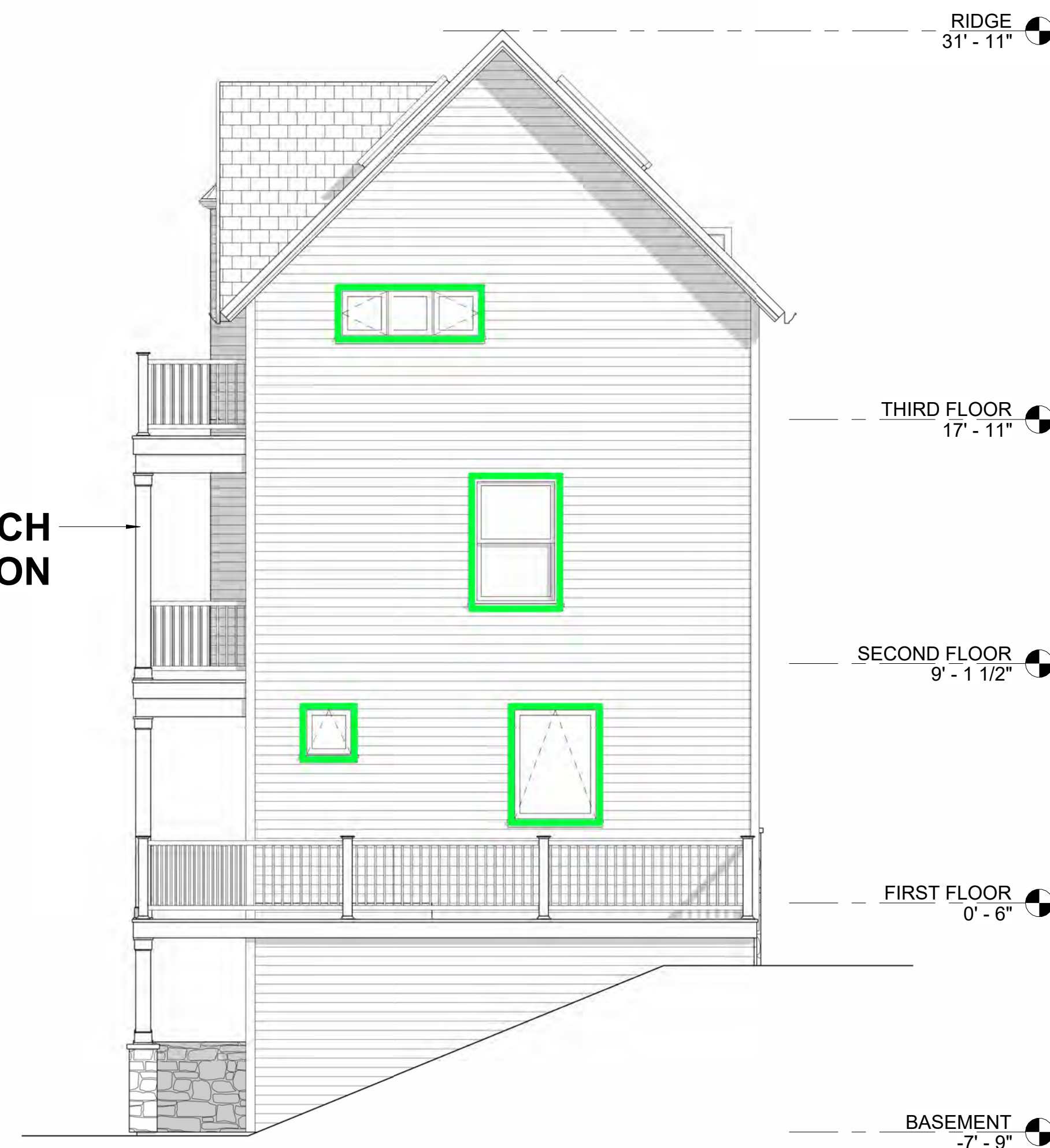
WEST ELEVATION - EXISTING



WEST ELEVATION - PROPOSED



REAR ELEVATION - EXISTING
1/4" = 1'-0"



REAR ELEVATION - PROPOSED

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PLANS, ARCHITECTURAL DRAWINGS OR WORKS OF ANY
SIMILAR NATURE IN ANY MANNER WHATSOEVER WITHOUT
GIVING RISE TO ANY CLAIM ON THE PART OF THE OWNER
OR BUILDER.

CHRIS COOKE
ARCHITECTURE
Christopher J. Cooke Architecture, P.C.
10000 Old Columbia Road, Suite 200
Columbia, Maryland 21046-4700
Tel: 410.326.0500
Fax: 410.326.0505
www.cjcooke.com

WALKERLY RESIDENCE

4 VINCENT AVENUE
CHAUTAQUA INSTITUTION
CHAUTAQUA, NEW YORK 14722

[illegible]

SHEET NUMBER

A1.4

PUTNAM-WALKERLY RESIDENCE

4 VINCENT AVENUE
CHAUTAUQUA, NEW YORK
COUNTY OF CHAUTAUQUA

LANDSCAPE ARCHITECT:
LEAF+STONE LANDSCAPE ARCHITECTURE
5363 DEAN ROAD
STOCKTON, NEW YORK, 14784
(716) 952 4666

ARCHITECT:
CHRIS COOKE ARCHITECTURE
25 SOUTH MAIN STREET
CASSADAGA, NEW YORK, 14718
(716) 228 0520

CLIENT:
KRIS PUTNAM-WALKERLY & TERRY WALKERLY
4 VINCENT AVE.
CHAUTAUQUA, NEW YORK, 14712

DRAWING INDEX:	
L 0.0	EXISTING CONDITION SITE PLAN
L.01	EXISTING ISR TABULATION
L 1.0	DEMOLITION & TEMP. EROSION AND SEDIMENT CONTROL PLAN
L 2.0	PROPOSED SITE PLAN
L2.1	PROPOSED SITE SURFACE TREATMENT GROUND FIGURE
L3.0	SITE DETAILS - STONE BLOCK TERRACE WALL & STONE PAVING SLAB
L3.1	SITE DETIALS - PERMEABLE AGGREGATE HARDSCAPE W/ REINFORCING GRID
L4.0	ALTERNATE SITE PLAN CONCEPT
L4.1	ALTERNATE SITE SURFACE TREATMENT GROUND FIGURE

ISSUE DATE:
March 21, 2023
SEAL:

4 Vincent Ave - Existing Surface Treatment Tabulation

PRIVATE PROPERTY							CHAUTAUQUA INSTITUTION PROPERTY / STREET R.O.W.				
CATEGORY	DESCRIPTION	ACTUAL AREA (SF)	Credit (%)	TABULATION (sf)	Sub-total (sf)	Percentage of lot	ACTUAL AREA (SF)	Credit (%)	TABULATION (sf)	Sub-total (sf)	Percentage of lot
TOTAL GREENSPACE					0	0%				800	68%
100% PERMEABLE	All open / landscape areas void of structures or pavement elements.										
	Planting Beds	0.0	100%	0.0			800.0	100%	0.0		
	Lawn	0.0	100%	0.0			0.0	100%	0.0		
TOTAL IMPERVIOUS:					863	100%				354	30%
STRUCTURES	Includes covered porches, window wells				772					78	
	Building w/ attached covered porch(s)	772.0	0%	772.0			78.0	0%	78.0		
IMPERMEABLE LANDSCAPE ELEMENTS	Includes garden walls, impermeable patios, sidewalks, driveways, etc.				92					184	
	Slab-on-grade Concrete	91.5	0%	91.5			120.0	0%	120.0		
	Retaining Wall & Steps	0.0	0%	0.0			64.0	0%	64.0		
	Asphalt Pavement	0.0	0%	0.0			0.0	0%	0.0		
SEMI-PERMEABLE HARDSCAPE ELEMENTS	Includes permeable hardscape elements such as sidewalks, patios, driveways, wood-framed decks.				0					92	
	Exist. Semi Permeable Hardscape	0.0	15%	0.0			108.0	15%	91.8		
TOTAL SF OF PARCEL:		863.5					1,170.0				

CLIENT:
KRIS & TERRIE WALKERLY
4 VINCENT AVENUE
CHAUTAUQUA, NY, 14712

DATE:
March 21, 2023
RE-ISSUE:
MM.DD.YYYY

PROJECT:
Site & Landscape Master Plan
4 Vincent Avenue
Chautauqua, New York

DRAWN BY:
JWR, PLB
DRAWING TITLE:
EXISTING
CONDITIONS
ISR TABULATION

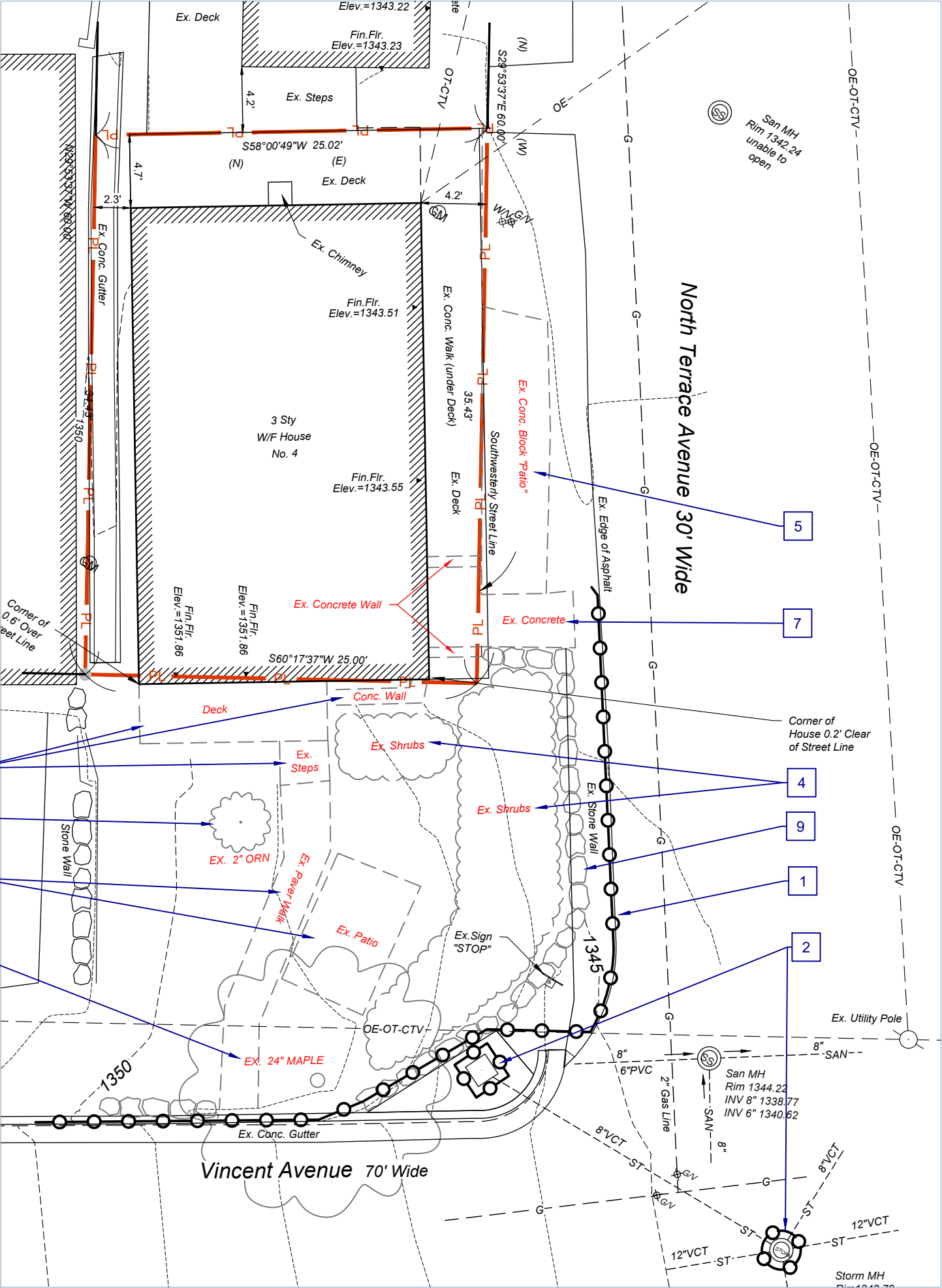
GENERAL NOTES:

1. SITE BASE MAP DEVELOPED EXISTING CONDITIONS AND TOPOGRAPHIC SITE SURVEY PREPARED BY RODGERS LAND SURVEYING DATED: 09/15/2022. CONTRACTOR SHALL CONTACT SURVEYOR FOR BENCHMARK INFORMATION AT (716) 665-2828.
2. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES ON SITE PRIOR TO BEGINNING EXCAVATION. ADDITIONAL UTILITIES MAY BE PRESENT IN ADDITION TO THOSE INDICATED IN THE PLAN SET.
3. UNDERGROUND UTILITIES EXIST, CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING 811DIG-SAFE FOR UTILITY MARK-OUT PRIOR TO THE COMMENCEMENT OF ANY WORK.
4. THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND CONNECTION OF UTILITIES WITH OTHER TRADES.

5. ALL TEMPORARY SEDIMENT AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION OR EARTH-WORK ACTIVITIES AND SHALL BE MAINTAINED IN GOOD WORKING ORDER.
6. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS OUTLINED IN "NEW YORK STATE GUIDELINES FOR EROSION AND SEDIMENT CONTROL" AND AS INDICATED IN THE PROJECT SPECIFICATIONS.
7. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ON THIS PROJECT NOT INDICATED AS STRUCTURE, PAVEMENT OR PLANTING BED.
8. COORDINATE WORK WITH OTHER TRADES.
9. CONTRACTOR SHALL KEEP A CLEAN AND TIDY WORK SITE. TRASH AND LITTER TO BE PICKED -UP AND DISPOSED OF AT THE CLOSE OF EACH DAY.
10. THE CONTRACTOR SHALL KEEP THE PUBLIC ROADWAY CLEAR OF DEBRIS AND SHALL CLEAN TO REMOVE DIRT/DUST/MUD AT THE END OF EACH WORK DAY.

DEMOLITION NOTES:

1. PROVIDE, INSTALL AND MAINTAIN LINEAR SEDIMENT CONTROL(SILT FENCE OR COMPOST FILTER-SOCK) AS SHOWN AND AS DIRECTED BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL REMOVE SEDIMENT FROM BACK-SIDE OF SILT FENCE WHEN SILT HAS ACCUMULATED TO 30% OF THE FABRIC HEIGHT OR AS DIRECTED.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN IN-LET PROTECTION AS NEEDED OR DIRECTED
3. REMOVE EXISTING TREE. WORK SHALL BE PERFORMED BY A CERTIFIED AND INSURED ARBORIST. GRIND/ GRUB AND REMOVE STUMP AND ROOTS ENTIRELY. PROPERTY OWNER TO PROVIDE FOR THE INSTALLATION AND MAINTENANCE OF A REPLACEMENT TREE AT A ALTERNATE LOCATION ON CHAUTAUQUA INSTITUTION PROPERTY AS DESCRIBED IN THE ARCITECTURE AND LAND-USE REGULATIONS.
4. THE CONTRACTOR SHALL COORDINATE FOR REMOVAL OF EXISTING SHRUBS. ALL STUMPS AND ROOTS SHALL BE GRUBBED AND REMOVED FROM WITHIN AREAS OF FOUNDATIONS AND PAVEMENTS OR PLANTING BEDS. ALL OTHERS SHALL BE REMOVED TO THE EXTENT NEEDED FOR 6" MIN. COVER OF FINAL GRADES.
5. DEMOLISH/REMOVE EXISTING CONCRETE PAVER WALK & PATIO.
6. EXTRACT EXISTING TREE AND HEEL-IN AND MAINTAIN OFF-SITE FOR RE-USE.
7. DEMOLISH/REMOVE EXISTING SLAB-ON-GRADE CONCRETE.
8. DEMOLISH/REMOVE EXISTING DECK & STEPS AND FOUNDATIONS. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
9. DEMOLISH EXISTING STONE RETAINING WALL. SALVAGE STONE AND RE-USE IF USABLE.



Leaf+Stone
Landscape Architecture

5363 Dean Road
Stockton, New York 14784
www.LeafandStone.design

716-952-4666

CLIENT:
KRIS & TERRIE WALKERLY
4 VINCENT AVENUE
CHAUTAUQUA, NY, 14712

DATE:
March 21, 2023

RE-ISSUE:
MM.DD.YYYY

PROJECT:
Site & Landscape Master Plan
4 Vincent Avenue
Chautauqua, New York

DRAWN BY:
JWR, PLB

DRAWING TITLE:
DEMOLITION PLAN

L

1.0



Demo & Temporary E&S Control Plan

Scale: 1" = 8'-0"

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4 Vincent Ave - Propose Site Plan Surface Treatment Tabulation

PRIVATE PROPERTY							CHAUTAUQUA INSTITUTION PROPERTY / STREET F.O.W.					
CATEGORY	DESCRIPTION	ACTUAL AREA (sf)	Credit (%)	TABULATION (sf)	Sub-total (sf)	Percentage of lot	ACTUAL AREA (SF)	Credit (%)	TABULATION (sf)	Sub-total (sf)	Percentage of lot	
TOTAL GREENSPACE:						0	0%				828	71%
100% PERMEABLE	All open / landscape areas void of structures or pavement elements.											
	Planting Beds	0.0	100%	0.0			502.0	100%	0.0			
	Permeable Aggregate Pavement	0.0	100%	0.0			245.0	100%	0.0			
	Gravel Paths & Ornamental Stone Mulches	0.0	100%	0.0			81.0	100%	0.0			
	Lawn	0.0	100%	0.0			0.0	100%	0.0			
TOTAL IMPERVIOUS:						863	100%				336	29%
STRUCTURES	Includes covered porches, window wells				772							200
	Building w/ attached covered porch(s)	772.0	0%	772.0			200.0	0%	200.0			
IMPERMEABLE LANDSCAPE ELEMENTS	Includes garden walls, impermeable patios, sidewalks, driveways, etc.				92							100
	Slab-on-grade Concrete	91.5	0%	91.5			0.0	0%	0.0			
	Landscape & Retaining Walls	0.0	0%	0.0			100.0	0%	100.0			
	Flagstones, Paving Slabs & stone steps	0.0	0%	0.0			0.0	0%	0.0			
SEMI-PERMEABLE HARDSCAPE ELEMENTS	Includes permeable hardscape elements such as sidewalks, patios, driveways, wood-framed decks.				0							36
	Flagstones & Paving Slabs on perm. base & joints	0.0	15%	0.0			42.0	15%	35.7			
	Permeable Paver Hardscape	0.0	15%	0.0			0.0	15%	0.0			
TOTAL SF OF PARCEL:		863.5					1,170.0					

SITE PLAN NOTES:

1. ORNAMENTAL STONE MULCH. 3"-6" DIA. RIVER-JACKS / COBBLES OVER WEED BARRIER.

2. LANDSCAPING / PLANTING BED, PLANTINGS TBD.

3. PATTERN-CUT FLAGSTONE PAVING SLABS. 18"W x 2 1/4" D x 48", 54" & 60" L. SET ON PERMEABLE CRUSHED STONE BASE WITH 2 1/2" JOINT.

4. PERMEABLE AGGREGATE HARDSCAPE - ORNAMENTAL OPEN-GRADED AGGREGATE CONFORMING TO ASTM No. 9 STONE INSTALLED WITH GRAVEL-LOK URETHANE-BINDER AND GRAVEL PAVE 2 CELLULAR REINFORCING GRID OVER PERMEABLE BASE COURSE.

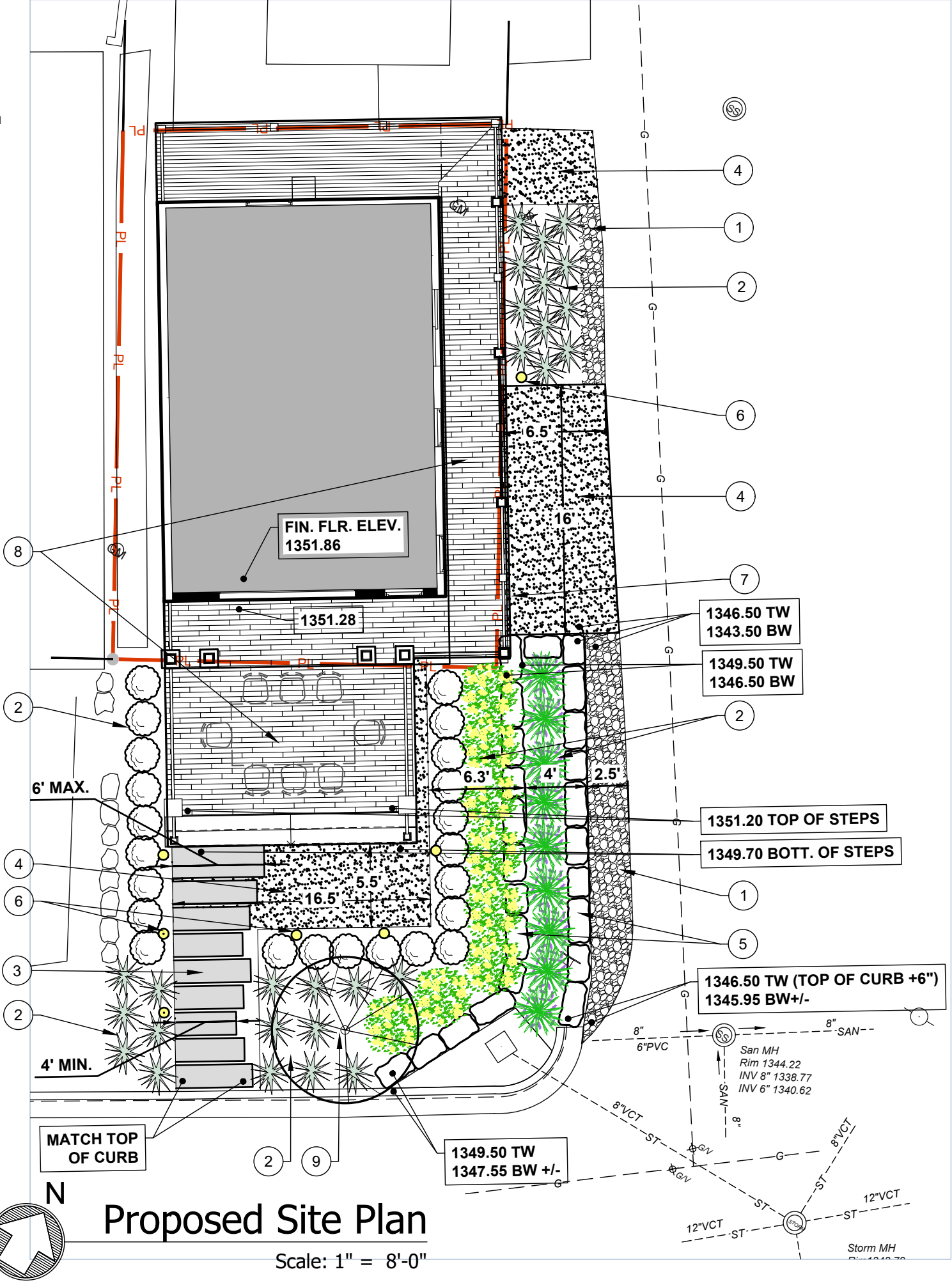
5. LANDSCAPE / TERRACE "WALL" 30" MAX. HEIGHT PER WALL. RUSTIC-BUFF LIMESTONE BLOCKS FROM WWW.OHIOSTONE.COM . AVERAGE BLOCK SIZE: 16"H x 18"W x 30"L.

6. LANDSCAPE PATH LIGHT - MODEL TBD, TO BE DARK-SKY APPROVED WITH LIGHT DIRECTED DOWNWARD. LANDSCAPE LIGHTS SHALL BE SWITCHED FOR EASY ON/OFF. COORDINATE WITH ELECTRICIAN AND GENERAL CONTRACTOR FOR CONNECTION TO POWER AND SWITCHING. (TYPICAL OF 7)

7. BICYCLE STORAGE AT FORMER LOCATION OF TRASH RECEPTACLES.

8. PORCH / DECK, SEE ARCHITECTURAL PLANS

9. ORNAMENTAL SPECIMEN TREE, SINGLE LEADER WITH 25'+/- MATURE HEIGHT. SPECIES TBD.



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	Permeable Aggregate Pavement	0.0	100%	0.0			245.0	100%	0.0	
	Gravel Paths & Ornamental Stone Mulches	0.0	100%	0.0			81.0	100%	0.0	
	Lawn	0.0	100%	0.0			0.0	100%	0.0	
TOTAL IMPERVIOUS:					863	100%				338
STRUCTURES	Includes covered porches, window wells				772					200
	Building w/ attached covered porch(s)	772.0	0%	772.0			200.0	0%	200.0	
IMPERMEABLE LANDSCAPE ELEMENTS	Includes garden walls, impermeable patios, sidewalks, driveways, etc.				92					100
	Slab-on-grade Concrete	91.5	0%	91.5			0.0	0%	0.0	
	Landscape & Retaining Walls	0.0	0%	0.0			100.0	0%	100.0	
	Flagstones, Paving Slabs & stone steps	0.0	0%	0.0			0.0	0%	0.0	
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	Permeable Paver Hardscape	0.0	15%	0.0			0.0	15%	0.0	
TOTAL SF OF PARCEL:		863.5					1,170.0			

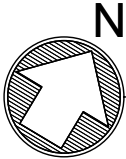
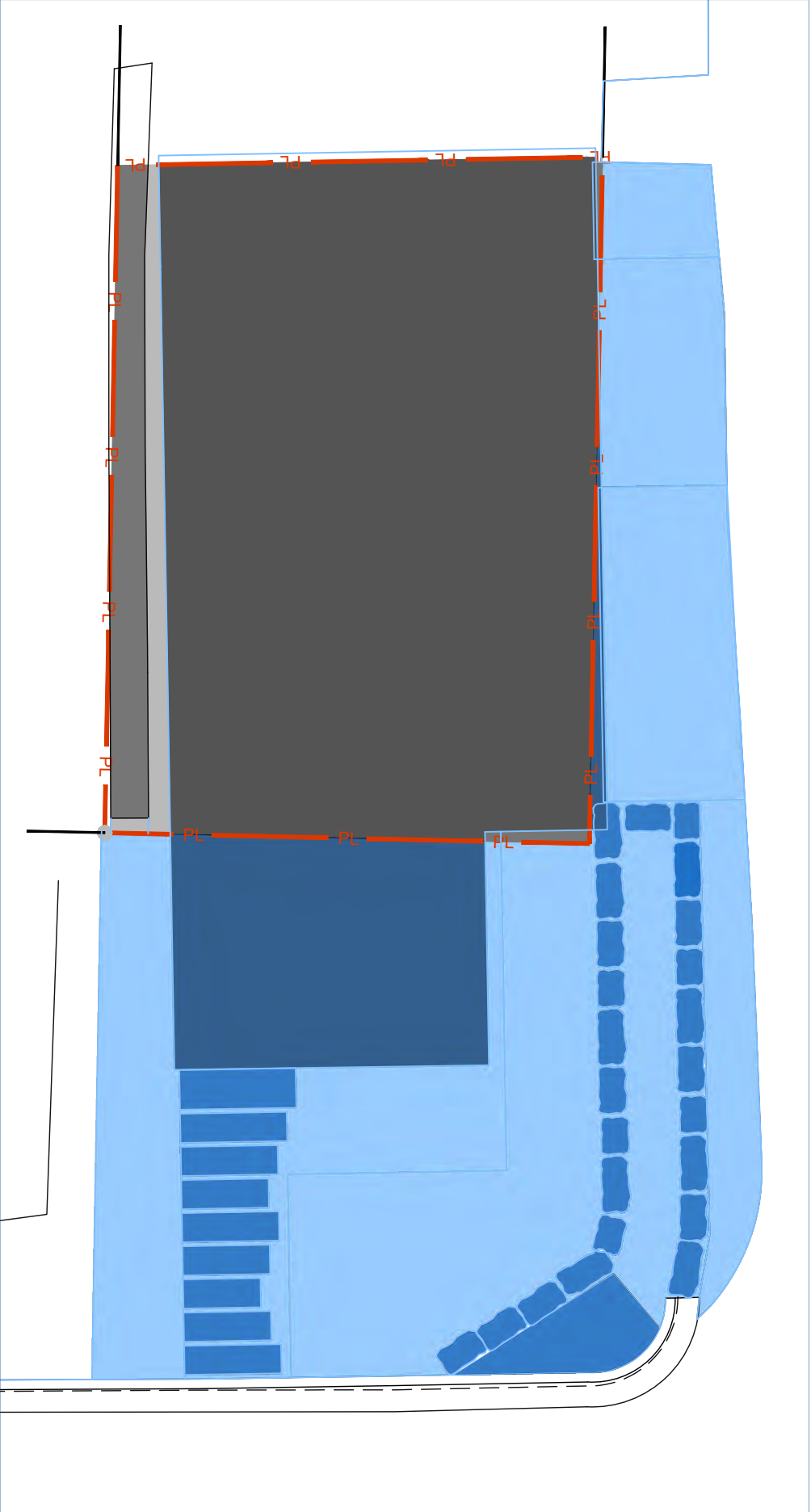
PROPOSED ISR AREA LEGEND

4 Vincent Ave. Property

- 100% Permeable
- Semi-Permeable Landscape Elements
- 100% Impermeable Landscape Elements
- 100% Impermeable Structures

Chautauqua Institute Property

- 100% Permeable
- Semi-Permeable Landscape Elements
- 100% Impermeable Landscape Elements
- 100% Impermeable Structures



Proposed Surface Treatment Ground Figure

Scale: 1" = 8'-0"

CLIENT:
KRIS & TERRIE WALKERLY
4 VINCENT AVENUE
CHAUTAUQUA, NY, 14712

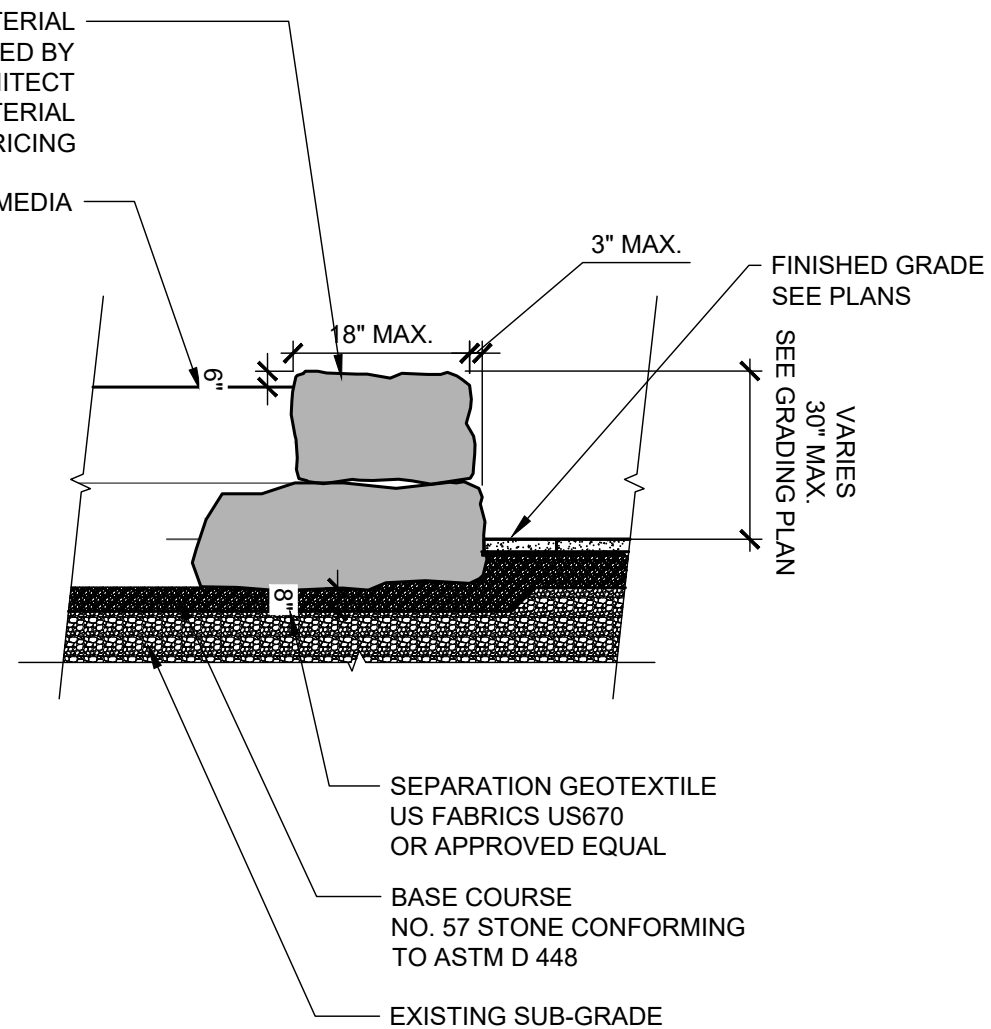
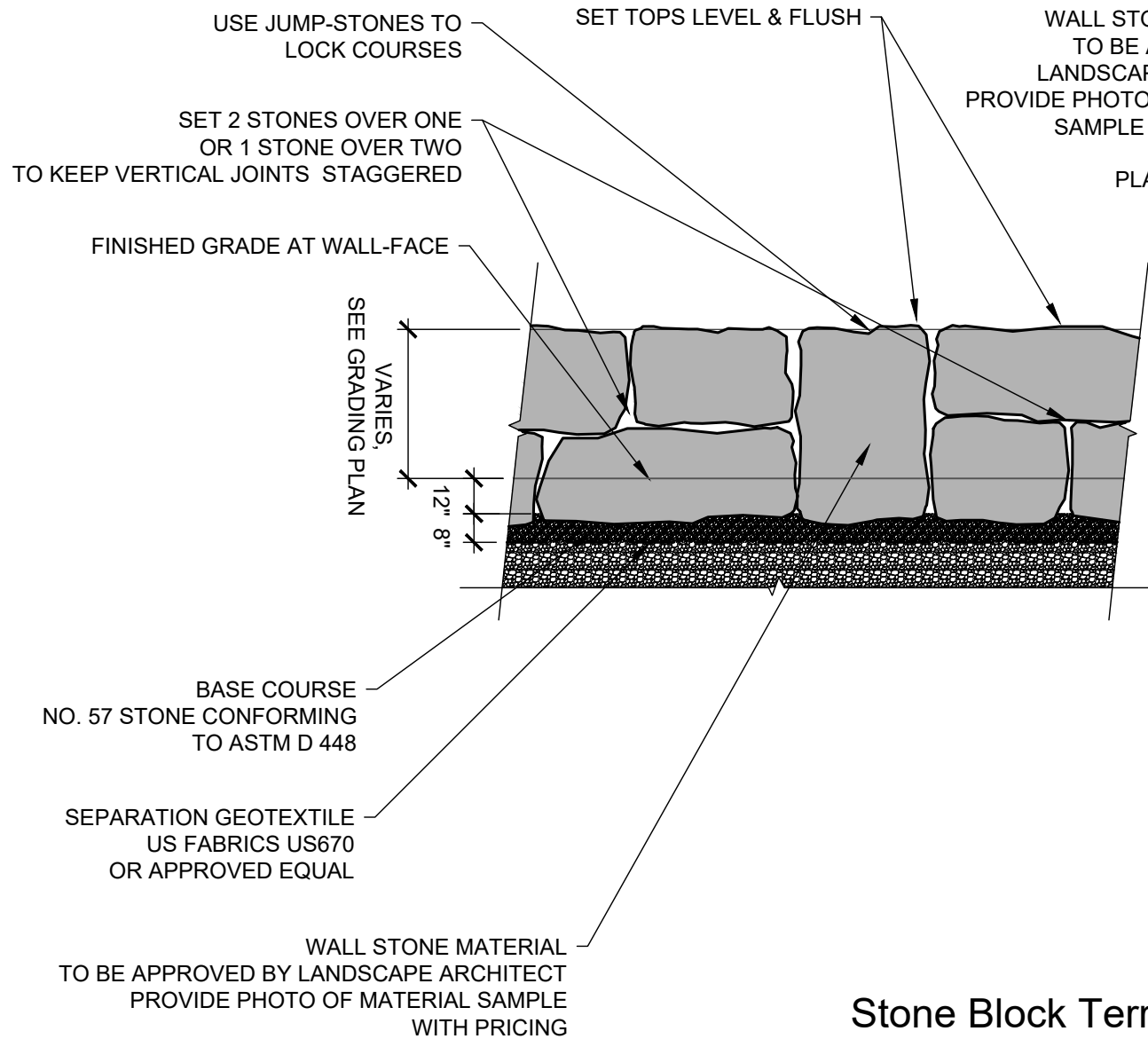
DATE:
March 21, 2023

RE-ISSUE:
MM.DD.YYYY

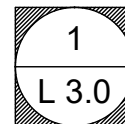
PROJECT:
Site & Landscape Master Plan
4 Vincent Avenue
Chautauqua, New York

DRAWN BY:
JWR

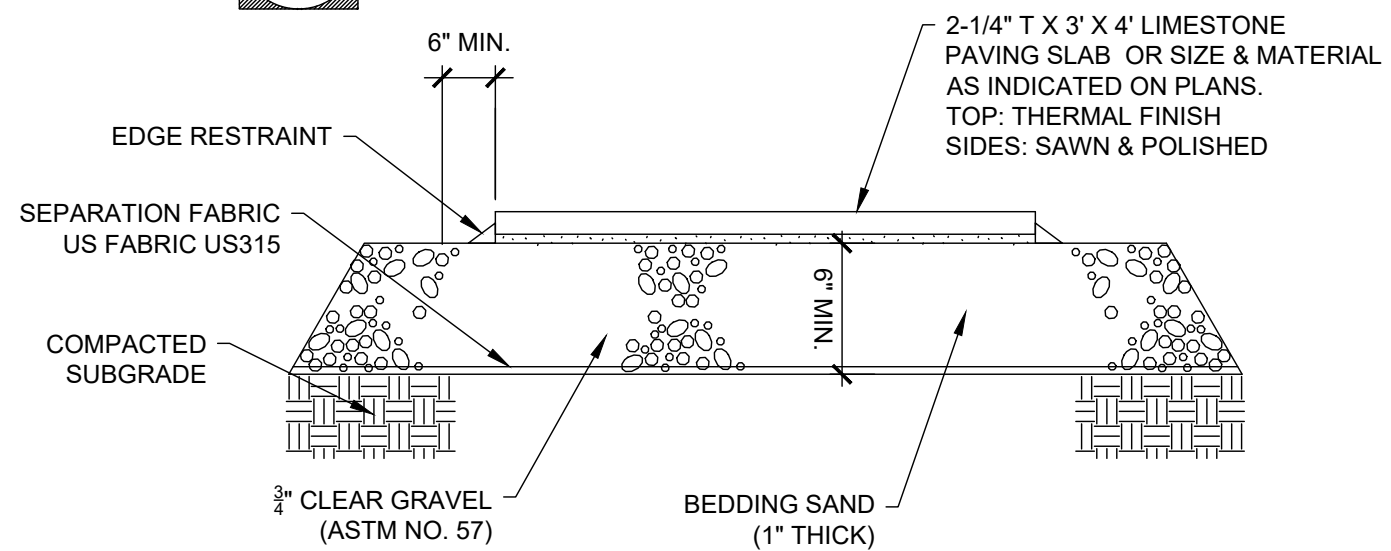
DRAWING TITLE:
PROPOSED
SITE PLAN



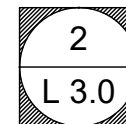
Stone Block Terrace Wall



NO SCALE



Stone Paving Slab on Permeable Base



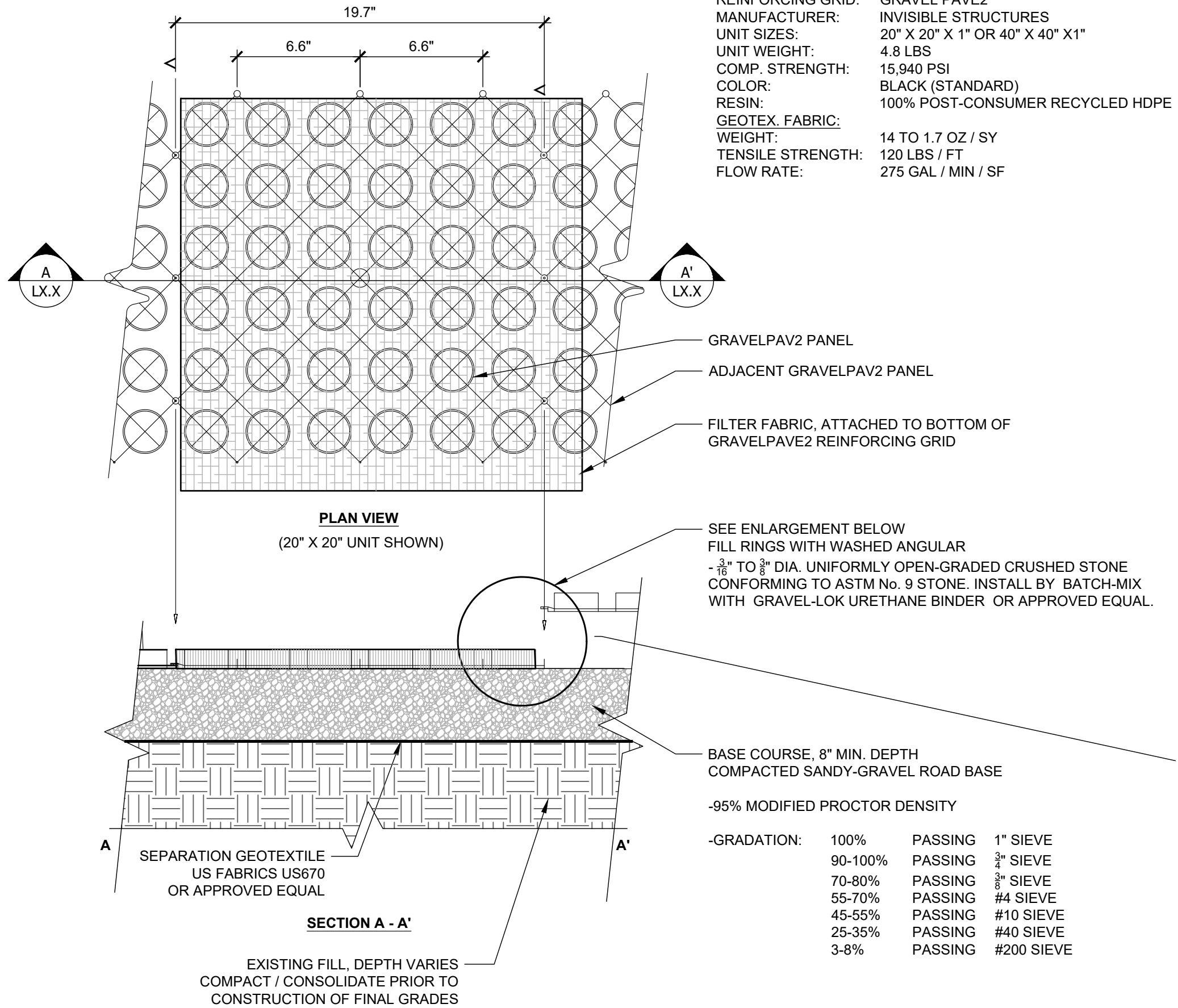
NO SCALE

CLIENT:
KRIS & TERRIE WALKERLY
4 VINCENT AVENUE
CHAUTAUQUA, NY, 14712

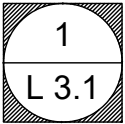
DATE:
March 21, 2023
RE-ISSUE:
MM.DD.YYYY

PROJECT:
Site & Landscape Master Plan
4 Vincent Avenue
Chautauqua, New York

DRAWN BY:
JWR, PLB
DRAWING TITLE:
SITE DETAILS



Permeable Aggregate Hardscape
with Reinforcing Grid



NO SCALE

CLIENT:
KRIS & TERRIE WALKERLY
4 VINCENT AVENUE
CHAUTAUQUA, NY, 14712

DATE:
March 21, 2023
RE-ISSUE:
MM.DD.YYYY

PROJECT:
Site & Landscape Master Plan
4 Vincent Avenue
Chautauqua, New York

DRAWN BY:
JWR, PLB
DRAWING TITLE:
SITE DETAILS

L

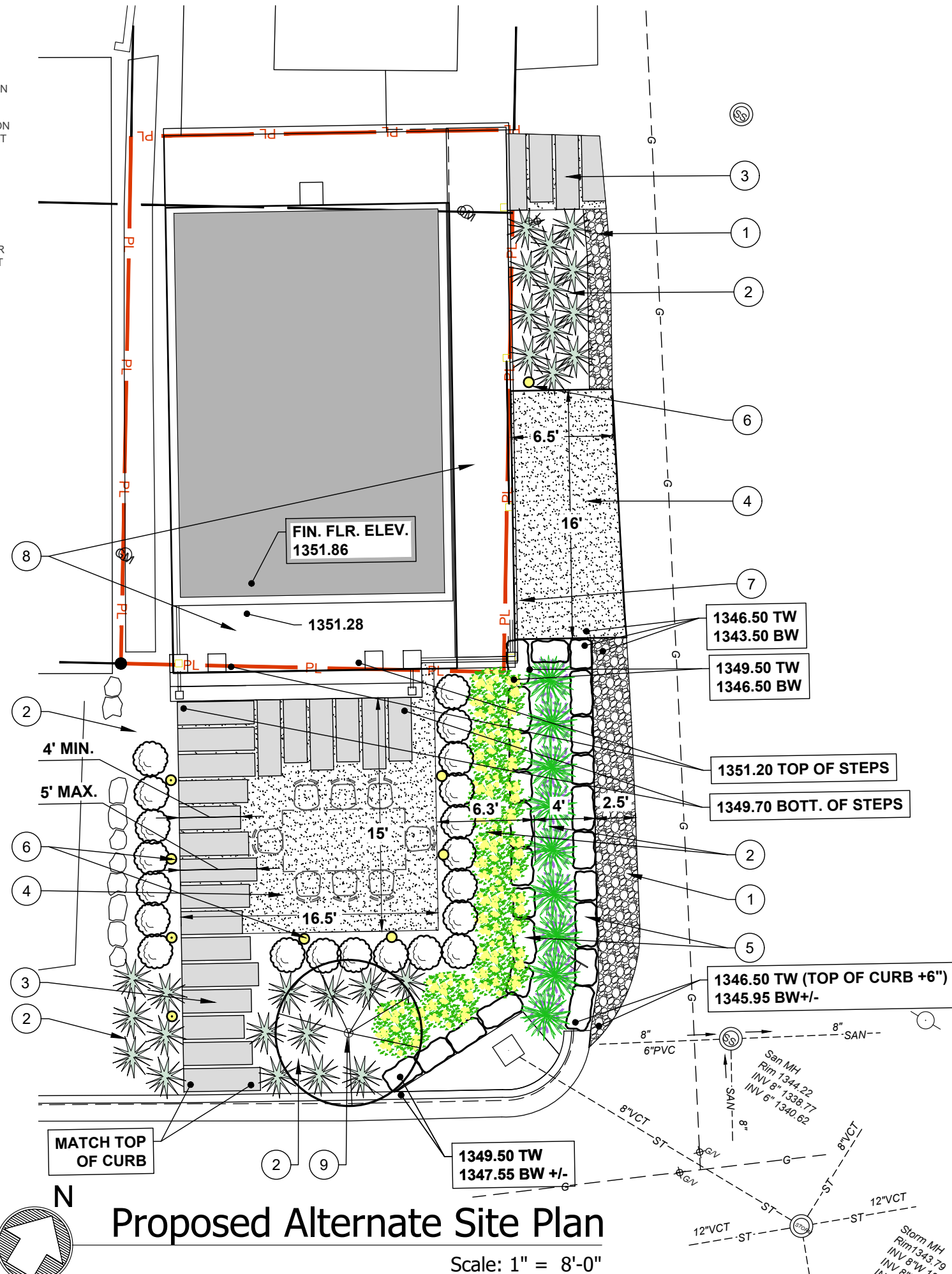
3.1

1. SITE BASE MAP DEVELOPED. EXISTING CONDITIONS AND TOPOGRAPHIC SITE SURVEY PREPARED BY RODGERS LAND SURVEYING DATED: 09/15/2022. CONTRACTOR SHALL CONTACT SURVEYOR FOR BENCHMARK INFORMATION AT (716) 665-2828.
2. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES ON SITE PRIOR TO BEGINNING EXCAVATION. ADDITIONAL UTILITIES MAY BE PRESENT IN ADDITION TO THOSE INDICATED IN THE PLAN SET.
3. UNDERGROUND UTILITIES EXIST, CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING 811/DIG-SAFE FOR UTILITY MARK-OUT PRIOR TO THE COMMENCEMENT OF ANY WORK.
4. THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND CONNECTION OF UTILITIES WITH OTHER TRADES.
5. ALL TEMPORARY SEDIMENT AND EROSION CONTROLS SHALL BE

6. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS OUTLINED IN "NEW YORK STATE GUIDELINES FOR EROSION AND SEDIMENT CONTROL" AND AS INDICATED IN THE PROJECT SPECIFICATIONS.
7. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ON THIS PROJECT NOT INDICATED AS STRUCTURE, PAVEMENT OR PLANTING BED.
8. COORDINATE WORK WITH OTHER TRADES.
9. CONTRACTOR SHALL KEEP A CLEAN AND TIDY WORK SITE. TRASH AND LITTER TO BE PICKED -UP AND DISPOSED OF AT THE CLOSE OF EACH DAY.
10. THE CONTRACTOR SHALL KEEP THE PUBLIC ROADWAY CLEAR OF DEBRIS AND SHALL CLEAN TO REMOVE DIRT/DUST/MUD AT THE END OF EACH WORK DAY.

PRIVATE PROPERTY							CHAUTAUQUE INSTITUTION PROPERTY / STREET R.O.W.				
CATEGORY	DESCRIPTION	ACTUAL AREA (SF)	Credit (%)	TABULATION (sf)	Sub-total (sf)	Percentage of lot	ACTUAL AREA (SF)	Credit (%)	TABULATION (sf)	Sub-total (sf)	Percentage of lot
TOTAL GREENSPACE					0	0%				865	73%
100% PERMEABLE	All open / landscape areas void of structures or pavement elements										
	Planting Beds	0.0	100%	0.0			504.0	100%	0.0		
	Permeable Aggregate Pavement	0.0	100%	0.0			270.0	100%	0.0		
	Gravel Paths & Ornamental Stone Mulches	0.0	100%	0.0			81.0	100%	0.0		
	Lawn	0.0	100%	0.0			0.0	100%	0.0		
TOTAL IMPERVIOUS:					863	100%				290	25%
STRUCTURES	Includes covered porches, window wells				772					45	
	Building w/ attached covered porch(s)	772.0	0%	772.0			45.0	0%	45.0		
IMPERMEABLE LANDSCAPE ELEMENTS	Includes garden walls, impermeable patios, sidewalks, driveways, etc:				92					100	
	Slab-on-grade Concrete	91.5	0%	91.5			0.0	0%	0.0		
	Landscape & Retaining Walls	0.0	0%	0.0			100.0	0%	100.0		
	Flagstones, Paving Slabs & stone steps	0.0	0%	0.0			0.0	0%	0.0		
SEMI-PERMEABLE HARDSCAPE ELEMENTS	Includes permeable hardscape elements such as sidewalks, patios, driveways, wood-framed decks.				0					145	
	Flagstones & Paving Slabs on perm. base & joints	0.0	15%	0.0			170.0	15%	144.5		
	Permeable Paver Hardscape	0.0	15%	0.0			0.0	15%	0.0		
TOTAL SF OF PARCEL:		863.5					1,170.0				

1. ORNAMENTAL STONE MULCH. 3"-6" DIA. RIVER-JACKS / COBBLES OVER WEED BARRIER.
2. LANDSCAPING / PLANTING BED, PLANTINGS TBD.
3. PATTERN-CUT FLAGSTONE PAVING SLABS. 18"W x 2 1/4" D x 48", 54" & 60" L. SET ON PERMEABLE CRUSHED STONE BASE WITH 2 1/2" JOINT.
4. PERMEABLE AGGREGATE HARDSCAPE - ORNAMENTAL OPEN-GRADED AGGREGATE CONFORMING TO ASTM No. 9 STONE INSTALLED WITH GRAVEL-LOK URETHANE-BINDER AND GRAVEL PAVE 2 CELLULAR REINFORCING GRID OVER PERMEABLE BASE COURSE.
5. LANDSCAPE / TERRACE "WALL" 30" MAX. HEIGHT PER WALL. RUSTIC-BUFF LIMESTONE BLOCKS FROM WWW.OHIOSTONE.COM . AVERAGE BLOCK SIZE: 16"H x 18"W x 30"L.
6. LANDSCAPE PATH LIGHT - MODEL TBD, TO BE DARK-SKY APPROVED WITH LIGHT DIRECTED DOWNWARD. LANDSCAPE LIGHTS SHALL BE SWITCHED FOR EASY ON/OFF. COORDINATE WITH ELECTRICIAN AND GENERAL CONTRACTOR FOR CONNECTION TO POWER AND SWITCHING. (TYPICAL OF 9)
7. BICYCLE STORAGE AT FORMER LOCATION OF TRASH RECEPTACLES.
8. PORCH / DECK, SEE ARCHITECTURAL PLANS
9. ORNAMENTAL SPECIMEN TREE, SINGLE LEADER WITH 25'+/- MATURE HEIGHT. SPECIES TBD.



GENERAL NOTES:

1. SITE BASE MAP DEVELOPED EXISTING CONDITIONS AND TOPOGRAPHIC SITE SURVEY PREPARED BY RODGERS LAND SURVEYING DATED: 09/15/2022. CONTRACTOR SHALL CONTACT SURVEYOR FOR BENCHMARK INFORMATION AT (716) 665-2828.

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3. UNDERGROUND UTILITIES EXIST, CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING 811DIG-SAFE FOR UTILITY MARK-OUT PRIOR TO THE COMMENCEMENT OF ANY WORK.

4. THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND CONNECTION OF UTILITIES WITH OTHER TRADES.

5. ALL TEMPORARY SEDIMENT AND EROSION CONTROLS SHALL BE
- INSTALLED PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION OR EARTH-WORK ACTIVITIES AND SHALL BE MAINTAINED IN GOOD WORKING ORDER.

6. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS OUTLINED IN "NEW YORK STATE GUIDELINES FOR EROSION AND SEDIMENT CONTROL" AND AS INDICATED IN THE PROJECT SPECIFICATIONS.

7. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ON THIS PROJECT NOT INDICATED AS STRUCTURE, PAVEMENT OR PLANTING BED.

8. COORDINATE WORK WITH OTHER TRADES.

9. CONTRACTOR SHALL KEEP A CLEAN AND TIDY WORK SITE. TRASH AND LITTER TO BE PICKED -UP AND DISPOSED OF AT THE CLOSE OF EACH DAY.

10. THE CONTRACTOR SHALL KEEP THE PUBLIC ROADWAY CLEAR OF DEBRIS AND SHALL CLEAN TO REMOVE DIRT/DUST/MUD AT THE END OF EACH WORK DAY.

4 Vincent Ave - Alternate Site Plan Surface Treatment Tabulation

PRIVATE PROPERTY						CHAUTAUQUA INSTITUTION PROPERTY / STREET R.O.W.					
CATEGORY	DESCRIPTION	ACTUAL AREA (SF)	Credit (%)	TABULATION (sf)	Sub-total (sf)	Percentage of lot	ACTUAL AREA (SF)	Credit (%)	TABULATION (sf)	Sub-total (sf)	Percentage of lot
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100% PERMEABLE	All open / landscape areas void of structures or pavement elements										
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	Permeable Aggregate Pavement	0.0	100%	0.0			270.0	100%	0.0		
	Gravel Paths & Ornamental Stone Mulches	0.0	100%	0.0			81.0	100%	0.0		
	Lawn	0.0	100%	0.0			0.0	100%	0.0		
TOTAL IMPERVIOUS:					863	100%				290	25%
STRUCTURES	Includes covered porches, window wells				772					45	
	Building w/ attached covered porch(s)	772.0	0%	772.0			45.0	0%	45.0		
IMPERMEABLE LANDSCAPE ELEMENTS	Includes garden walls, impermeable patios, sidewalks, driveways, etc.				92					100	
	Slab-on-grade Concrete	91.5	0%	91.5			0.0	0%	0.0		
	Landscape & Retaining Walls	0.0	0%	0.0			100.0	0%	100.0		
	Flagstones, Paving Slabs & stone steps	0.0	0%	0.0			0.0	0%	0.0		
SEMI-PERMEABLE HARDSCAPE ELEMENTS	Includes permeable hardscape elements such as sidewalks, patios, driveways, wood-framed decks.				0					145	
	Flagstones & Paving Slabs on perm. base & joints	0.0	15%	0.0			170.0	15%	144.5		
	Permeable Paver Hardscape	0.0	15%	0.0			0.0	15%	0.0		
TOTAL SF OF PARCEL:		863.5					1,170.0				

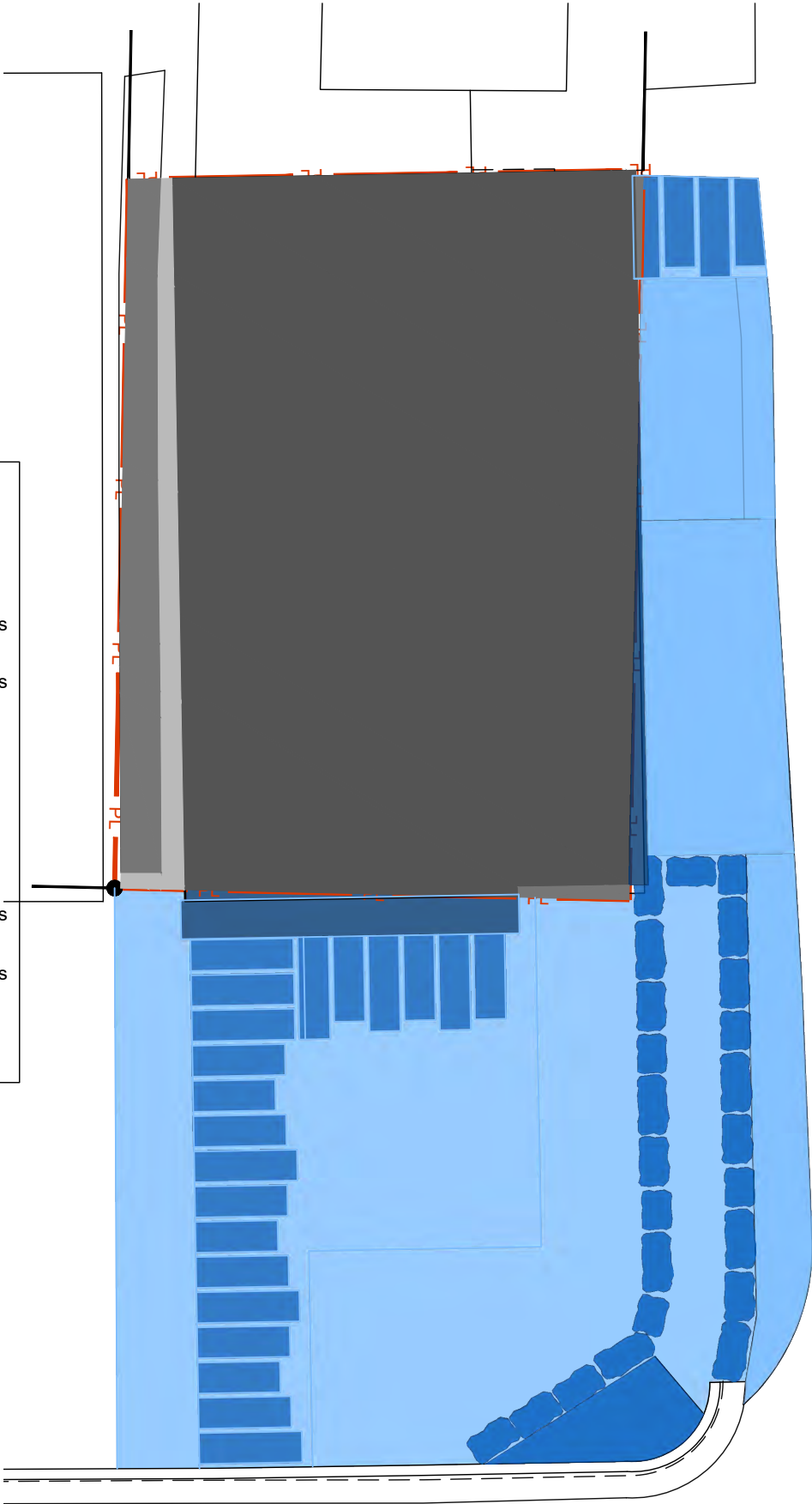
PROPOSED ISR AREA LEGEND

14 Cookman Property

- 100% Permeable
- Semi-Permeable Landscape Elements
- 100% Impermeable Landscape Elements
- 100% Impermeable Structures

Chautauqua Institute Property

- 100% Permeable
- Semi-Permeable Landscape Elements
- 100% Impermeable Landscape Elements
- 100% Impermeable Structures



Leaf+Stone
Landscape Architecture

5363 Dean Road
Stockton, New York 14784
www.LeafandStone.design

716-952-4666

CLIENT:
KRIS & TERRIE WALKERLY
4 VINCENT AVENUE
CHAUTAUQUA, NY, 14712

DATE:
March 21, 2023

RE-ISSUE:
MM.DD.YYYY

PROJECT:
Site & Landscape Master Plan
4 Vincent Avenue
Chautauqua, New York

DRAWN BY:
JWR

DRAWING TITLE:
PROPOSED
ALTERNATE
SITE PLAN

L

4.1

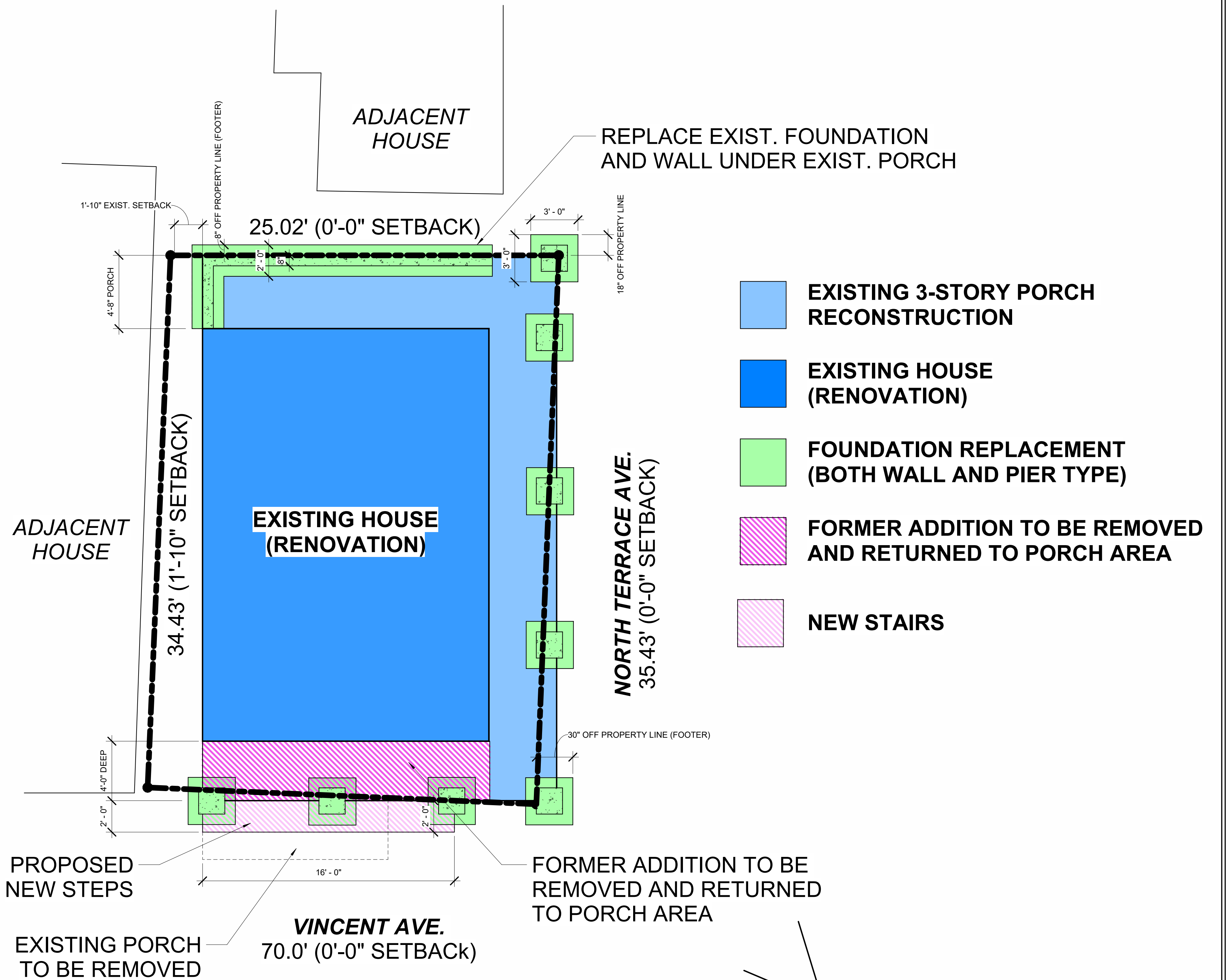
Alternate Surface Treatment Ground Figure

Scale: 1" = 8'-0"

OPTION "B"



CORNER 3D VIEW



SITE PLAN

1/4" = 1'-0"

3D VIEW

DRAWINGS PRODUCED BY ARCHITECTURE, SCULPTURE, DESIGN, PLANS, AND OTHERS ON THESE PAGES WILL BE REPRODUCED IN PLANS, ARCHITECTURE, SIMILAR NATURE II. GIVING RISE TO ANOTHER OR BUILDER.

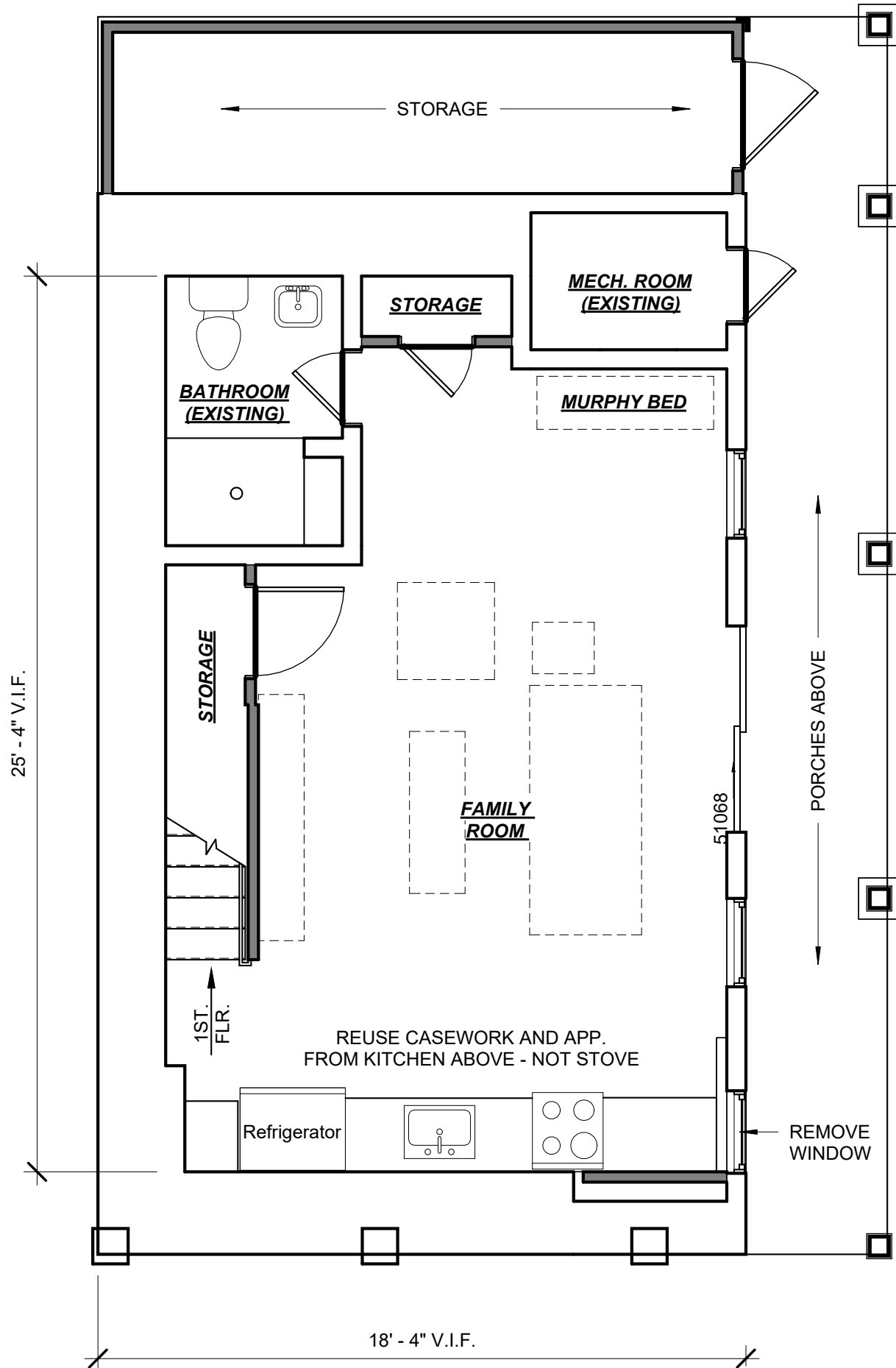
CHRIS COOKE
ARCHITECTURE
Christopher J. Cooke Architecture, P.C.

WALKERLY RESIDENCE
4 VINCENT AVENUE
CHAUTAQUA INSTITUTE
CHAUTAUQUA, NEW YORK 14722

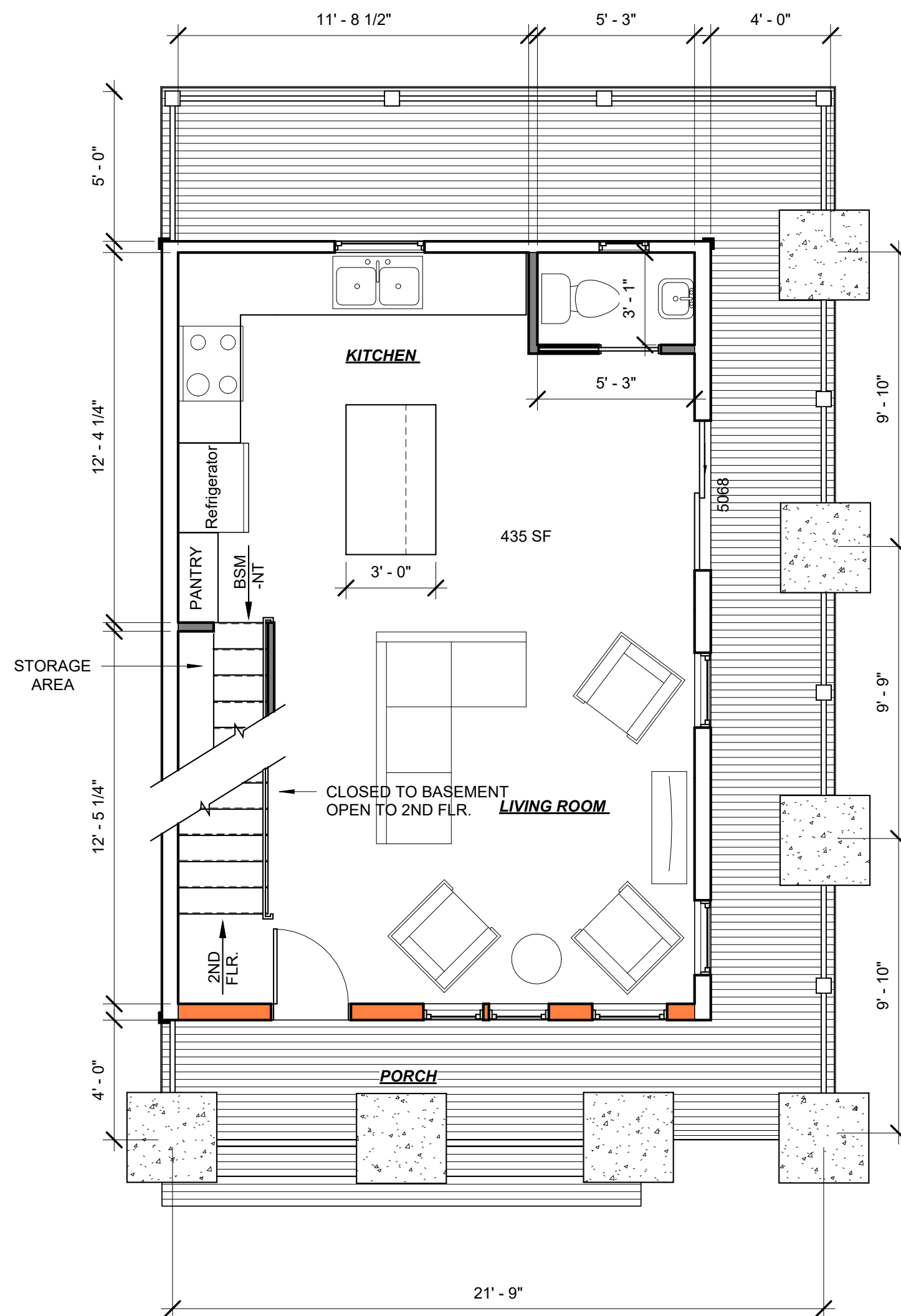
[illegible]

SHEET NUMBER

A1.0



④ **1/4" = 1'-0"**

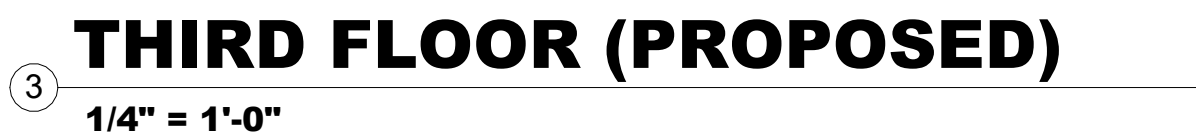


② **1/4" = 1'-0"**

① **1/4" = 1'-0"**

- | | |
|----|---|
| 01 | EXISTING DOOR(S) TO BE REMOVED |
| 02 | EXISTING WALL(S) TO BE REMOVED |
| 03 | EXISTING KITCHEN COUNTER(S), FIXTURE(S), CASEWORK, AND APPLIANCE(S) TO BE REMOVED |
| 04 | EXISTING SHOWER/TUB TO BE REMOVED |
| 05 | EXISTING TOILET(S) TO BE REMOVED |
| 06 | EXISTING SINK/VANTY TO BE REMOVED |
| 07 | EXISTING CLOSET TO BE REMOVED |
| 08 | EXISTING WINDOW(S) TO BE REMOVED |
| 09 | EXISTING STAIR(S) TO BE REMOVED |
| 10 | EXISTING EXTERIOR STORAGE TO BE REMOVED |
| 11 | EXISTING CHIMNEY TO BE REMOVED |
| 12 | EXISTING PORCHES TO RECONSTRUCTED (FLOORS, CEILINGS, COLUMNSS, RAILS) |

5 **1 1/2" = 1'-0"**



- DEMOLITION NOTES**

A1.2

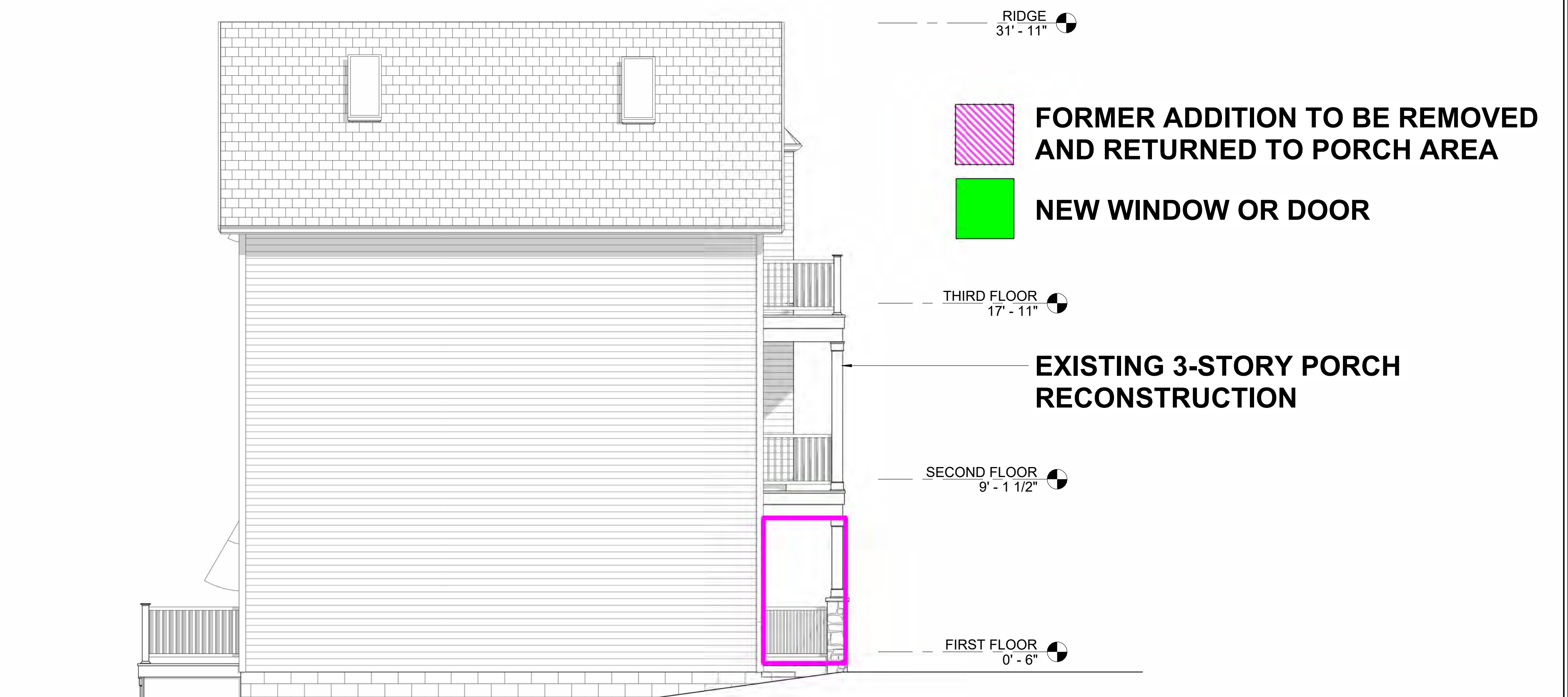
CHRIS COOKE
ARCHITECTURE[illegible]

A1.3

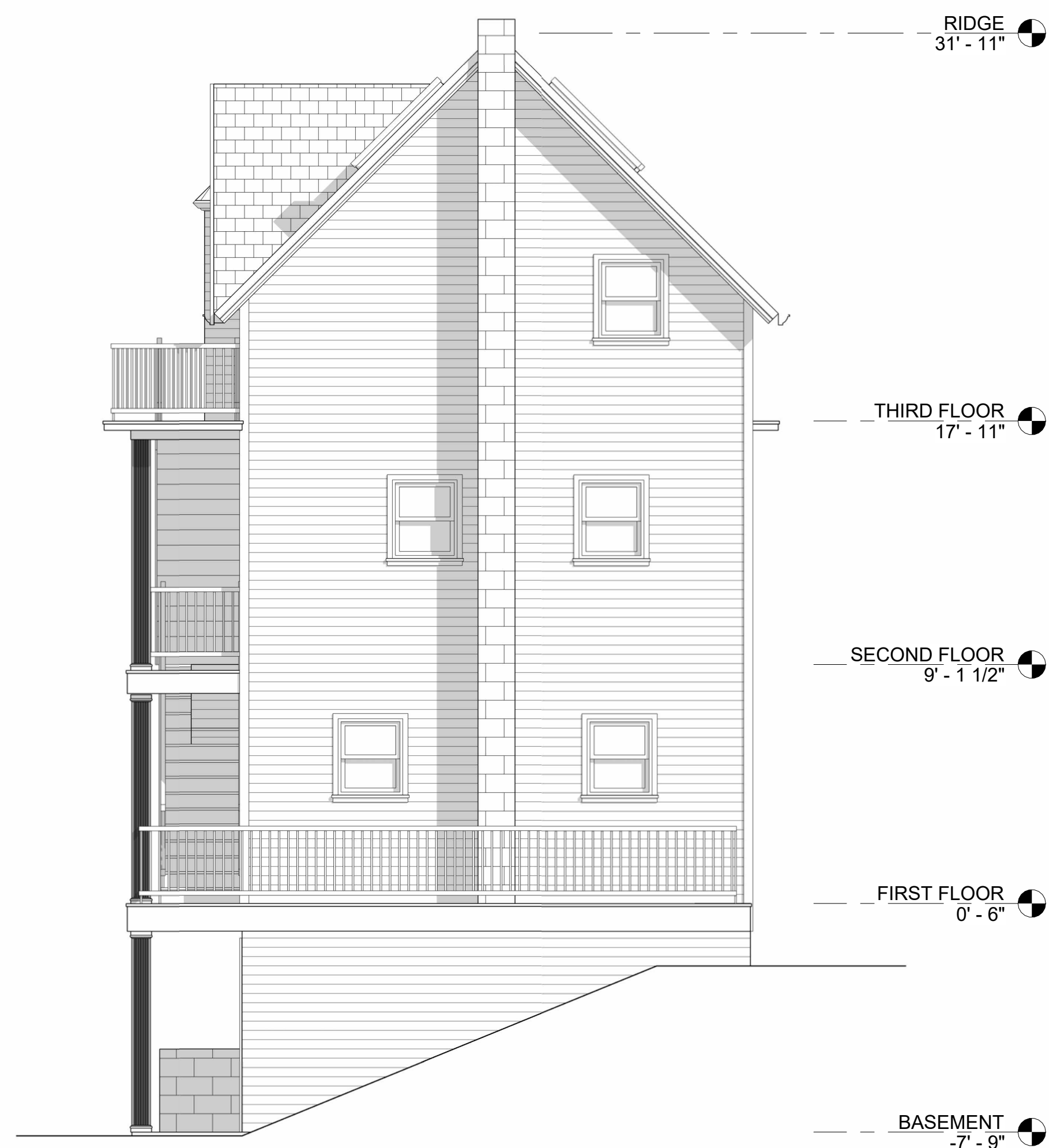




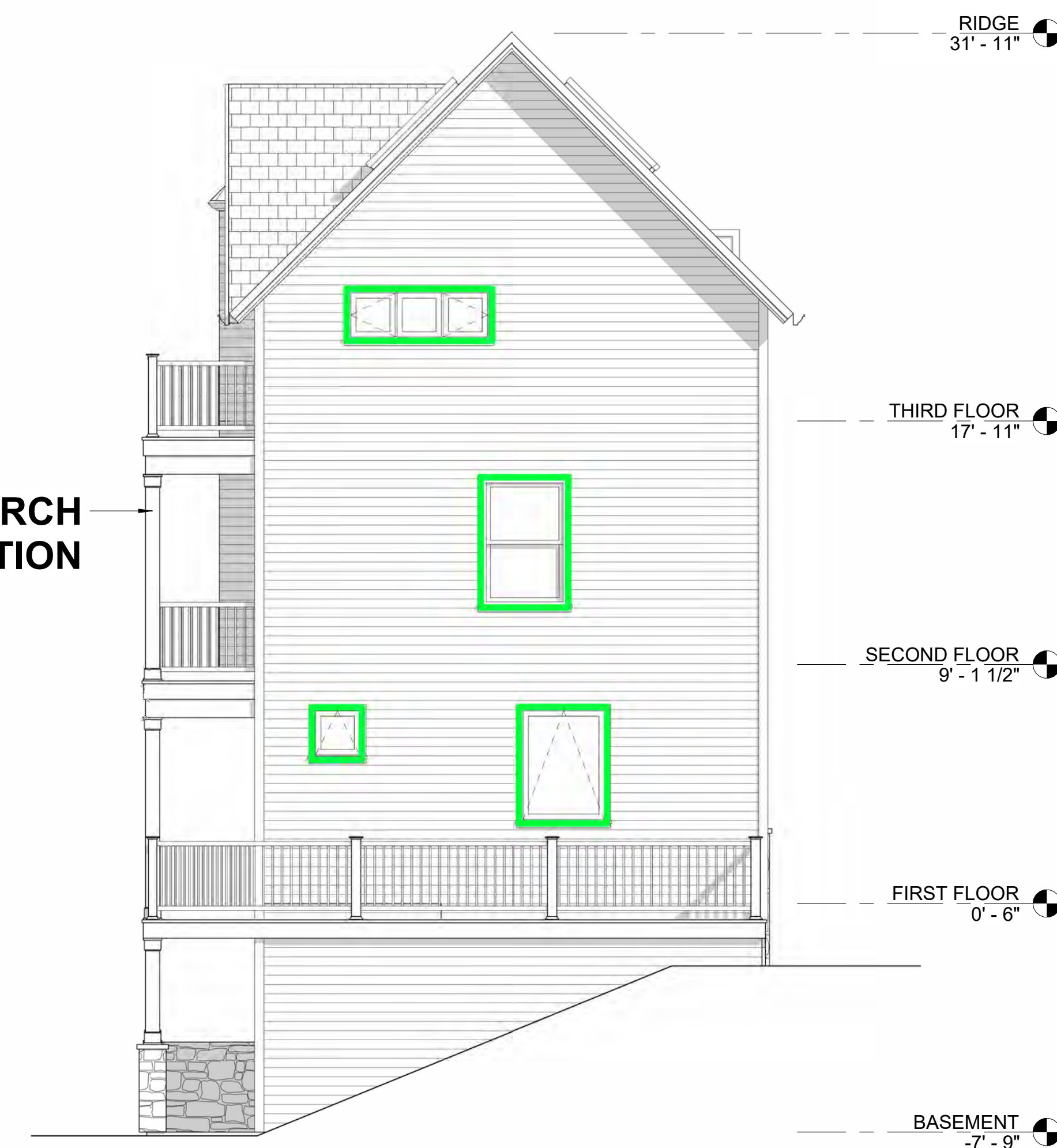
WEST ELEVATION - EXISTING



WEST ELEVATION - PROPOSED



REAR ELEVATION - EXISTING



REAR ELEVATION - PROPOSED

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CHRIS COOKE
ARCHITECTURE
Christopher J. Cooke Architecture, P.C.

WALKERLY RESIDENCE
4 VINCENT AVENUE
CHAUTAQUA INSTITUTE
CHAULTAQUA, NEW YORK 14722

[illegible]

SHEET NUMBER

Office Use ONLY

Application Received: In Person ☐ By Mail ☐ By Email ☐ Date _____
Request Investigated by _____ Date _____
Permit Approved: () YES () NO Date _____
Recommend to ARB: () YES () NO Date _____
ARB Approval: () YES () NO Date _____
Permit Issued By _____ Permit Number _____ Date _____
Other Notes _____

+++++

CHAUTAUQUA INSTITUTION
ARCHITECTURAL AND LAND USE COMPLIANCE CERTIFICATE APPLICATION

Chautauqua Institution has adopted specific regulations for ALL construction, landscaping and use of properties on the grounds. **All construction work** (except routine maintenance; interior finishes, non-structural interior alterations; kitchen/bath alterations; interior mechanical systems; exterior painting) **must first be reviewed and approved by the Administrator of Architectural & Land Use Regulations prior to starting. (See Compliance Process Matrix 6.3 in Regulations). A current, valid Compliance Certificate from the Institution MUST BE POSTED** on the site for this work. A Town of Chautauqua Building Permit may also be required from the Town of Chautauqua.

PLEASE FILL IN FOLLOWING INFORMATION:

- A) Owner's Name TERRY WALKERLY & KRIS PUTNAM-WALKERLY
Chautauqua Address 4 VINCENT AVENUE
Permanent Address 31659 Tradewinds Dr., Avon Lake OH 44012
Owner's Phone # (510) 388-5231 Owner's Cell # SAME
Owner's e-mail KRIS@PUTNAM-CONSULTING.COM TERRY@FRYERMANAGEMENT.COM
- B) Construction Site House Number 4 / Unit # _____
- C) District of Construction Site: (X) Mixed Use Core () Neighborhood Traditional
() Neighborhood Suburban () Miller Park () Suburban Multi-Family
() Garden District () Woodlands () Highlands
- D) Prime Contractor / CM(Names, Phone Numbers, e-mail address) JIM ALEXANDER
CONSTRUCTION 716.467.1112 ALEXANDERCONSTRUCTION2000@YAHOO.COM
Contractor Authorization Certificate # _____
Subcontractor (Names & Phone Numbers) _____
Contractor Authorization Certificate # _____
Subcontractor (Names & Phone Numbers) _____
Contractor Authorization Certificate # _____
- E.1) Type of Work To Be Performed: (X) Interior Structural Alterations (X) Demolition
() Driveways/Walks/Patios (X) Foundation work (X) Window changes/replacements
(X) Porches/Decks/Patios/Pergolas/Balconies () Site Features or change of grade
() New Construction () Exterior HVAC/ Mechanical Units () Roofs

() New Awnings () Additions (X) Reconstruction () Renovation
() Garage () Other _____

E.2) Description of Work (Attach additional sheets and/or drawings if available):

See architectural and landscape drawings attached.

F) Date Work Is Expected To Begin FALL 2023 To Finish By SPRING 2024

G) Selected historic preservation classification: (See 4.12 in Regulations)

() Preservation (x) Reconstruction () Rehabilitation () Restoration

H) Proposed Materials: (plastic, vinyl are prohibited) Composite trim, decking, handrails

I) Identify the industry recognized architectural style: _____

J) Identify tree disturbances (within canopy) and/or proposed removals: See landscape plans

K) Describe how site drainage during construction and after construction will be managed in compliance with Regulations (attach drawings if necessary): _____
Runoff will be captured on-site.

L) Describe how you will manage legal off-street parking on the project site: _____
CHQ ALU regulations will be followed.

M) THE INSTITUTION STAFF CANNOT GRANT SPECIAL EXCEPTIONS TO, OR VARIANCES FROM, THE ARCHITECTURAL AND LAND USE REGULATIONS. PLEASE INDICATE BELOW IF THE WORK IS SUCH THAT ACTION FROM THE ARCHITECTURAL REVIEW BOARD (ARB) IS REQUIRED.

Variance Is Being Requested X YES _____ NO

Special Exception is Requested _____ YES _____ NO

Describe Variances/Exception Requested See document below.

N) Lot Size, Intensity, Impervious Surface Ratio: (See Regulations for definitions)

Lot Width: 25' x 35.43' Lot Area: 875sf Floor/Area Ratio: Existing = 2.27
Proposed = 2.19
Impervious Surface Ratio: .29 (29%)

O) Height to Eave: 21'-6" Height to Highest Ridge/Point: 31'-5"

P) I agree to reimburse Chautauqua Institution for all costs, repairs and/or construction to any road surface and/or right-of-way resulting from construction activities X YES
_____ NO

4 VINCENT – ARB VARIANCE REQUESTS

Option A (Preferred):

- Seeking permission for the removal of the existing ~24" Dia. Maple tree located at the curb line within the front yard right-of-way (ROW). (The tree has a significant lean out over the road and utility lines and the roots are causing displacement of adjacent pavements.)
 - The property owner would like to fund a replacement tree being planted elsewhere on Chautauqua Institution property in-lieu of the replacement tree being located within the front yard ROW for 4 Vincent Ave.
- Variance request for construction of the proposed porch structure to built across the property line, within the ROW.
- Variance from section 5.8.3.2 - seeking to exceed the maximum allowed ISR for CI owned ROW land.
 - Max. allowed for Corner Lots: 0.25, seek permission for: 0.29
 - This is an improvement from the existing condition of 0.30
- Seeking permission to replace / construction stone block landscape terrace wall on C.I. property per section 5.7.3.7
- Variance from section 5.7.3.8 stipulating a maximum height of retaining walls shall not exceed 2'
 - Requesting permission to have a maximum height of 30".
 - Proposed landscape terrace walls shall have a minimum horizontal setback of 4' so as to not require the use of guardrails per NYS Building Code.
- Seeking permission for installing landscaping and entrance walks on C.I. owned ROW land.
- Variance from section 4.3.3 Max Lot Size, Intensity and ISR
 - Seeking permission to improve the existing building FAR from 2.27 to 2.19 (max. permitted is 1.37)
- Variance from section 4.3.6 Building Setbacks
 - Seeking variance for the existing 0'-0" setback on the Vincent Avenue and North Terrace Avenue property lines as well as the rear yard setback. Also, an existing side yard setback of 1'-10". Partial foundation replacements (both pier and concrete wall type) adjacent to the property lines are requested for basement and porch piers.

Option B (Alternate):

- Seeking permission for the removal of the existing ~24" Dia. Maple tree located at the curb line within the front yard right-of-way (ROW). (The tree has a significant lean out over the road and utility lines and the roots are causing displacement of adjacent pavements.)
 - The property owner would like to fund a replacement tree being planted elsewhere on Chautauqua Institution property in-lieu of the replacement tree being located within the front yard ROW for 4 Vincent Ave.
- Variance request for construction of the proposed porch structure to built across the property line, within the ROW.
- Seeking permission to replace / construction stone block landscape terrace wall on C.I. property per section 5.7.3.7
- Variance from section 5.7.3.8 stipulating a maximum height of retaining walls shall not exceed 2'
 - Requesting permission to have a maximum height of 30".
 - Proposed landscape terrace walls shall have a minimum horizontal setback of 4' so as to not require the use of guardrails per NYS Building Code.
- Seeking permission for installing landscaping and entrance walks on C.I. owned ROW land.
- Variance from section 4.3.3 Max Lot Size, Intensity and ISR
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- Q) I agree to abide by the Rules & Regulations Chautauqua Institution and the Architectural and Land Use Regulations: X YES NO
- R) I understand that financial penalties apply for violations of the Architectural and Land Use Regulations and I agree to pay such fines if violations occur: X YES NO
(Refer to *Schedule of Penalties*. Liens will be placed upon properties for unpaid penalties)

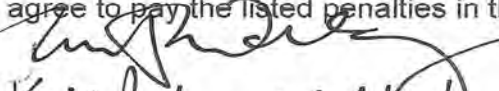
Schedule of Penalties (See Regulations):

For All Projects

- | | |
|---|---------------------------------------|
| 1. Failure to Post Compliance Certificate in Visible Location on Property | \$ 25 / day |
| 2. Commencement of Construction Activities prior to receipt of Chautauqua Institution Certificate of Compliance | Max. \$1,000 or \$250 / day |
| 3. Unauthorized Demolition | Max. \$10,000 or \$100 / day |
| 4. Construction Site Maintenance | \$100 / day |
| 5. Failure to Correct Violation | Max. \$1,000 or \$100 / day |
| 6. Removal of Tree from Institution Property | \$10,000 Max. - \$5,000 Min. per tree |
| 7. Removal of Tree from Private Property | \$ 5,000 Max - \$1,000 Min. per tree |

Acknowledgement:

I understand that by signing this document I agree to abide by the Rules & Regulations of Chautauqua Institution and the Architectural and Land Use Regulations. I also certify that the above information is true and correct to the best of my knowledge and that I understand and agree to pay the listed penalties in the instances of violations:

 3/22/23
Kris Palmer Waller 3/22/23 _____ Property Owner's
Signature *** Date

 3/23/23 _____ Prime Contractor / CM's
Signature Date

NOTE: ALL CONTRACTORS MUST HAVE A CERTIFICATE OF AUTHORIZATION ISSUED BY CHAUTAUQUA INSTITUTION PRIOR TO PERFORMING CONSTRUCTION ON THE GROUNDS OF CHAUTAUQUA INSTITUTION.

No changes shall be made in such work that deviate from that submitted without the prior approval of the Institution. The issuance of a Compliance Certificate is in addition to and not in substitution for required building permits issued by appropriate governmental authorities, especially the Town of Chautauqua and the Chautauqua Utility District.

COMPLIANCE CERTIFICATE REVIEW FEES:

All exterior or interior remodeling	\$35
Additions to existing buildings	\$90
New construction and substantial rehabilitation	\$200
All cases going to the ARB	\$310

Note: Fees are reviewed annually by the Board of Trustees and may change without notice.

IMPORTANT CONTACT INFORMATION:

<u>Operations Office:</u>	P.O. Box 28 Chautauqua, NY 14722	716-357-6245 (fax) 716-357-9014
Jennifer Majewski	Administrative Assistant	716-357-6245 jmajewski@chq.org
	Administrator of Architectural and Land Use Regulations & Capital Projects Manager	716-357-6400
Jack Munella	Manager of Buildings and Grounds	716-357-6237 jmunella@chq.org
Betsy Burgeson	Gardens Supervisor (Trees)	716-357-6326 bburgeson@chq.org
Amy Hummel	Buildings/Grounds/Gardens Assistant	716-357-6208 ahummel@chq.org

Chautauqua Institution Security:

Joe Gerace	Chief of Police	716-357-6225
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Town of Chautauqua:

Jeff Paddock	Code Enforcement Officer	716-753-3433
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Other:

Chautauqua Utility District Office	716-357-5865
CUD Wastewater Management	716-357-8137

NY State Call Before You Dig	811
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Website link:

www.chq.org/construction-resources

ALL DOCUMENTS ARE AVAILABLE TO DOWNLOAD ON OUR WEBSITE

Applications shall be filed with the Architectural and Land Use Administrator of Chautauqua Institution. The following information must be included:

6.1.1. Standard Application Requirements For New Construction, a Building Project or a Landscaping Project, the application, signed by the Applicant, shall be accompanied by seven (7) sets of the following:

- (a) scaled, dimensional drawings of the project (minimum 1/8" = 1'-0");
- (b) an official survey of the Lot, showing (i) Lot dimensions, (ii) Lot orientation, (iii) the location, size, and material description of all existing and all proposed Structures, walkways, drives, retaining walls, garden walls, fences, patios, decks, Ancillary Equipment (including air conditioning units and compressors and generators), and other site amenities (including locations for garbage and recycling containers) in relation to the street, to other Buildings and Structures (both in terms of height profiles and land footprints), and to Lot and Setback lines, (iv) pre- and post-project contours in one foot increments, and (v) the location of existing trees, bushes, vegetation and other plants both on the Lot and in the adjacent right of way, with the designation of any trees that are proposed to be removed or that will be within ten (10) feet of any construction or excavation;
- (c) site plan (to the extent not shown on the official survey provided for in clause (b) above);
- (d) floor plans for each floor or Story, including any Basement or proposed Basement;
- (e) roof plan;
- (f) front, rear, and side elevations identifying materials, dimensions, heights, and types of windows and doors;
- (g) details of door and window types (to the extent not provided for in clause (f) above), steps, railings, driveways, and walkways;
- (g) streetscapes showing both the existing Structure and the post-project proposed Structure;
- (h) landscaping details, including a drainage and storm water management plan; and

- (i) such additional documents, drawings, or information as the Administrator may reasonably request.

The Administrator may in his sole and absolute discretion accept an application as complete without requiring the submission of one or more of the foregoing items based on the Administrator's evaluation of the nature, extent, and complexity of the proposed New Construction, Building Project, or Landscaping Project; provided, however, the Administrator's decision to proceed on that basis shall not be binding on the ARB in those instances in which ARB review or approval of an application are required (whether by reason of appeal of the Administrator's decision or otherwise) and the ARB in its discretion may require submission of any one or more of the omitted items as a condition to its review or approval of an application.

6.1.2. Basic Diagrams For New Construction or a Building Project, including a Building Project that includes only minor alterations to windows, doors, porches, dormers or the like (but no Additions or structural changes to the Building), or for replacements thereof, the application shall contain basic diagrams drawn to scale showing both the existing and the proposed alterations/replacements.

6.1.3. Elevations and Scale Drawings For New Construction or a Building Project, the application shall contain such information as will demonstrate compliance with the requirements of these Regulations, including Article 4 and Article 5 hereof, which information shall include, but not be limited to, scale drawings of all exterior Elevations with dimensions showing both the Building Height and the Building Footprint, pre- and post-project FAR and ISR calculations, explanatory sections, details of door and window types, porch steps and railings, details of Building finishes, baseline grade and elevation calculations for the Lot, and an indication of finished floor and ceiling levels.

6.1.4. Additional Drawings and Information The application shall also contain such additional drawings, information and diagrams as may reasonably be requested by the Administrator or the ARB to ensure compliance with these Regulations, including, without limitation, streetscapes.

6.1.5. Certificate Regarding Variances and Special Exception The application shall contain the written, signed certification of the Applicant that either (a) certifies that the proposed project requires no Variance or Special Exception from these Regulations or (b) specifies the Variances and Special Exceptions from these Regulations required for the proposed project and certifies that, other than the specified Variances and Special Exceptions, the proposed project requires no other Variance or Special Exception from these Regulations.

6.1.6. Certification of Completeness Prior to the issuance of a Compliance Certificate by the Administrator, the Applicant shall certify in writing to the Administrator that all documents delivered by or on behalf of the Applicant to the Administrator and the ARB in connection with the application are identical to those that have been submitted to the Town of Chautauqua in connection with its building permit review, and the Applicant subsequent to the issuance of the Compliance Certificate shall deliver to the Administrator from time to time such supplemental or additional documents as shall be needed to ensure continued compliance with this requirement.

6.1.7. Condition Precedent to Construction Work on New Construction, a Building Project, a Landscaping Project or Demolition shall not be commenced until the required Compliance Certificate has been issued by the Administrator.

6.1.8. Need for Supplemental Approval No changes shall be made in the scope or nature of the New Construction, Building Project, Landscaping Project, or Demolition that deviate materially from the project as previously approved by the Administrator or the ARB without the prior written approval of the Administrator obtained after a supplemental written application from the Applicant. The Administrator shall determine whether or not the supplemental written application requires review and approval by the

ARB or whether the supplemental written application is within his power to review and approve. If the Administrator determines that the supplemental written application is within his power to review and approve and if the Administrator denies that application or approves that application with conditions, then the Applicant may appeal the Administrator's decision to the ARB in the manner set forth herein.

6.1.9. Other Permits The requirement of a Compliance Certificate is in addition to and not in substitution for required building, demolition (and other) permits issued by appropriate governmental authorities having jurisdiction over the subject matter of any Compliance Certificate. Notwithstanding the issuance of a Compliance Certificate subsequent to the approval of an application by either the Administrator or the ARB, it remains the responsibility of the Applicant and the Applicant's contractor and other agents to comply fully and completely with all relevant requirements of the rules, regulations, and codes of New York State, the Town of Chautauqua, and all other governmental authorities having jurisdiction over the subject matter of the Compliance Certificate.

CHAUTAUQUA INSTITUTION COMPLIANCE PROCESS MATRIX

ACTION		REVIEWING AUTHORITY	
	NO APPLICATION OR COMPLIANCE CERTIFICATE REQUIRED (CONSIDERED MAINTENANCE)	REVIEW AND APPROVAL BY THE ADMINISTRATOR FOLLOWED BY ISSUANCE OF A COMPLIANCE CERTIFICATE. *Provided no Variance to any regulation or criteria is requested or required.	REVIEW AND APPROVAL BY THE ARB FOLLOWED BY ISSUANCE OF A COMPLIANCE CERTIFICATE BY THE ADMINISTRATOR. *When a Variance to any regulation or criteria is requested or required.
NEW CONSTRUCTION AND BUILDING PROJECTS, INCLUDING ADDITIONS, RECONSTRUCTIONS, REHABILITATIONS, RENOVATIONS, RESTORATIONS, AND SUBSTANTIAL REHABILITATIONS, BUT EXCLUDING REVIEW AND APPROVAL OF POST-DEMOLITION STRUCTURES AND RELATED LANDSCAPING			
COMPLIANT WITH ALL REQUIREMENTS		X	
MINOR ENCROACHMENT ONLY		X	
VARIANCE OR SPECIAL EXCEPTION REQUESTED OR REQUIRED			X
DEMOLITIONS, INCLUDING REVIEW AND APPROVAL OF POST-DEMOLITION STRUCTURES AND RELATED LANDSCAPING			
ACCESSORY STRUCTURE			X
PRIMARY STRUCTURE			X
DEMOLITION TO CREATE OPENINGS BETWEEN EXISTING AND APPROVED NEW CONSTRUCTION WHEN NOT VISIBLE FROM THE EXTERIOR OF THE COMPLETED PROJECT		X	
INVESTIGATIVE DEMOLITION		X	

BUILDING CODE/FIRE CODE COMPLIANCE AND RELATED ISSUES OF SAFETY AFTER A FIRE OR OTHER CASUALTY		X	
DRIVEWAYS			
ADDING A DRIVEWAY		X*	X*
CHANGE OF MATERIAL		X	
REMOVAL OF DRIVEWAY		X	
FOUNDATIONS			
REPAIR IN KIND		X	
ADDITION OF A FOUNDATION, BUT WITH THE SAME FIRST-FLOOR ELEVATION		X	
ADDITION OF A FOUNDATION, BUT WITH A CHANGE OF FIRST-FLOOR ELEVATION		X*	X *
ADDITION OF A BASEMENT		X*	X *
ALTERATION OR CHANGE OF WINDOWS			
SAME LOCATION, MATERIAL, AND DESIGN		X	
DIFFERENT LOCATION, MATERIAL OR DESIGN WHEN COMPLIANT WITH THE SELECTED ARCHITECTURAL STYLE OF THE PROJECT		X	
DIFFERENT LOCATION, MATERIAL OR DESIGN WHEN NOT COMPLIANT WITH THE SELECTED ARCHITECTURAL STYLE OF THE PROJECT			X
MUNTINS ON EXTERIOR OF GLASS		X	
MUNTINS ON INTERIOR OF GLASS			X
PORCHES / BALCONIES / DECKS / PATIOS / PERGOLAS			
COMPLIANT WITH ALL REQUIREMENTS		X	
VARIANCE REQUESTED OR REQUIRED			X
SITE FEATURES / LANDSCAPING			
SHEDS		X*	X*
FENCES / GARDEN WALLS / RETAINING WALLS		X*	X*
POOLS / SPAS		X*	X*
CHANGE OF PLANT MATERIAL	X		
CHANGE OF GRADE		X*	X*
CANVAS AWNINGS			
NEW INSTALLATION		X*	X*
OFF-SEASON PORCH PROTECTION	X		
CLEANING			

PRESSURE WASHING	X		
CHEMICAL REMOVAL	X		
SANDBLASTING		X	
INTERIOR MAINTENANCE			
CARPET/FLOORING	X		
WALL FINISHES	X		
PAINTING	X		
INTERIOR ALTERATIONS			
NONSTRUCTURAL CHANGES	X		
STRUCTURAL CHANGES		X	
KITCHEN BATH ALTERATIONS OR APPLIANCE CHANGES	X		
MECHANICAL SYSTEMS			
INTERIOR MECHANICAL SYSTEMS ONLY	X		
SOME (OR ALL) EXTERIOR MECHANICAL SYSTEMS		X	
AC WINDOW UNITS		X	
AC CONDENSER		X	
GENERATOR		X*	X*
SOLAR PANELS		X*	X *
WIND TURBINE		X*	X *
PAINTING			
EXTERIOR	X		
ROOF			
SAME OR CHANGE OF MATERIAL		X	
SHUTTERS			
REPAIR/REPLACE WITH SAME SIZE, MATERIAL, OR DESIGN	X		
REPAIR/REPLACE WITH DIFFERENT SIZE, MATERIAL, OR DESIGN		X	
NEW		X	