



## OFFICE OF CAMPUS PLANNING & OPERATIONS

### ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

September 27th 2023

Dear Chautauquan,

The owner of 30 Miller, Jim Lynch, in the Mixed Use Core, is coming before the Architectural Review Board with plans proposing a bathroom repair and interior renovation within the existing building footprint on the northern corner of the Building. This work encroaches into the 3'-0" side yard setback, and the 10'-0" rear yard setback. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variations/Requests being considered:

- 1) Variance for encroachment into a 3'-0" interior side yard setback (ALU Section 4.3.6).
- 2) Variance for encroachment into a 10'-0" rear yard setback (ALU Section 4.3.6).

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project may be reviewed online using the following link: [Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://www.chq.org/architecture-review-board-news-and-notes)

The Architectural Review Board will meet on **November 2nd 2023 in the Turner Conference Room at 12:00pm Noon**. Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at [arb@chq.org](mailto:arb@chq.org) until 12:00pm noon on November 1st 2023

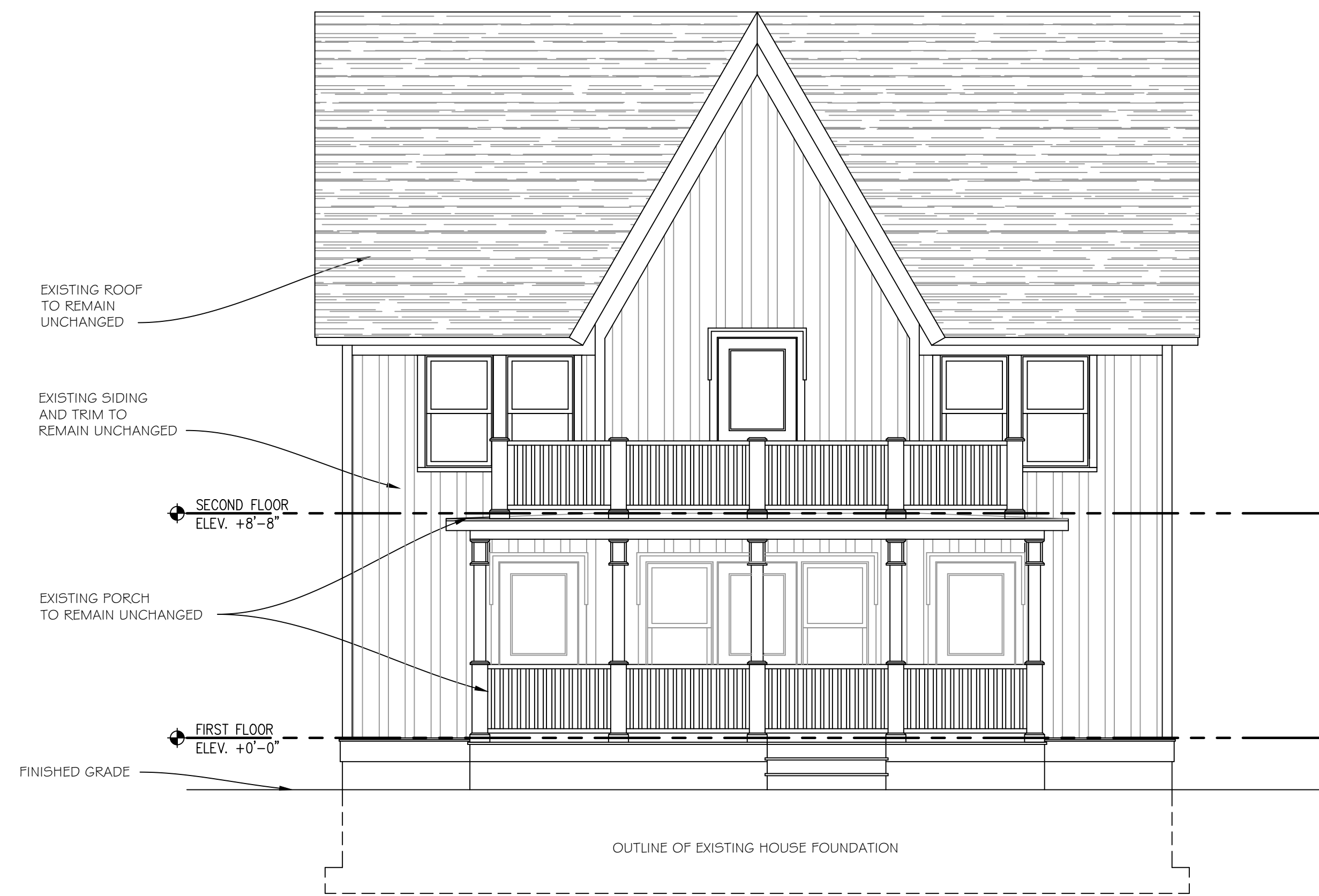
Thank you for your time,

**Ryan B. Boughton, Assoc. AIA**

Administrator of Architectural and Land Use Regulations

[rboughton@chq.org](mailto:rboughton@chq.org) | o: 716.357.6245

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716.357.6245 • 716.357.9014 (fax)  
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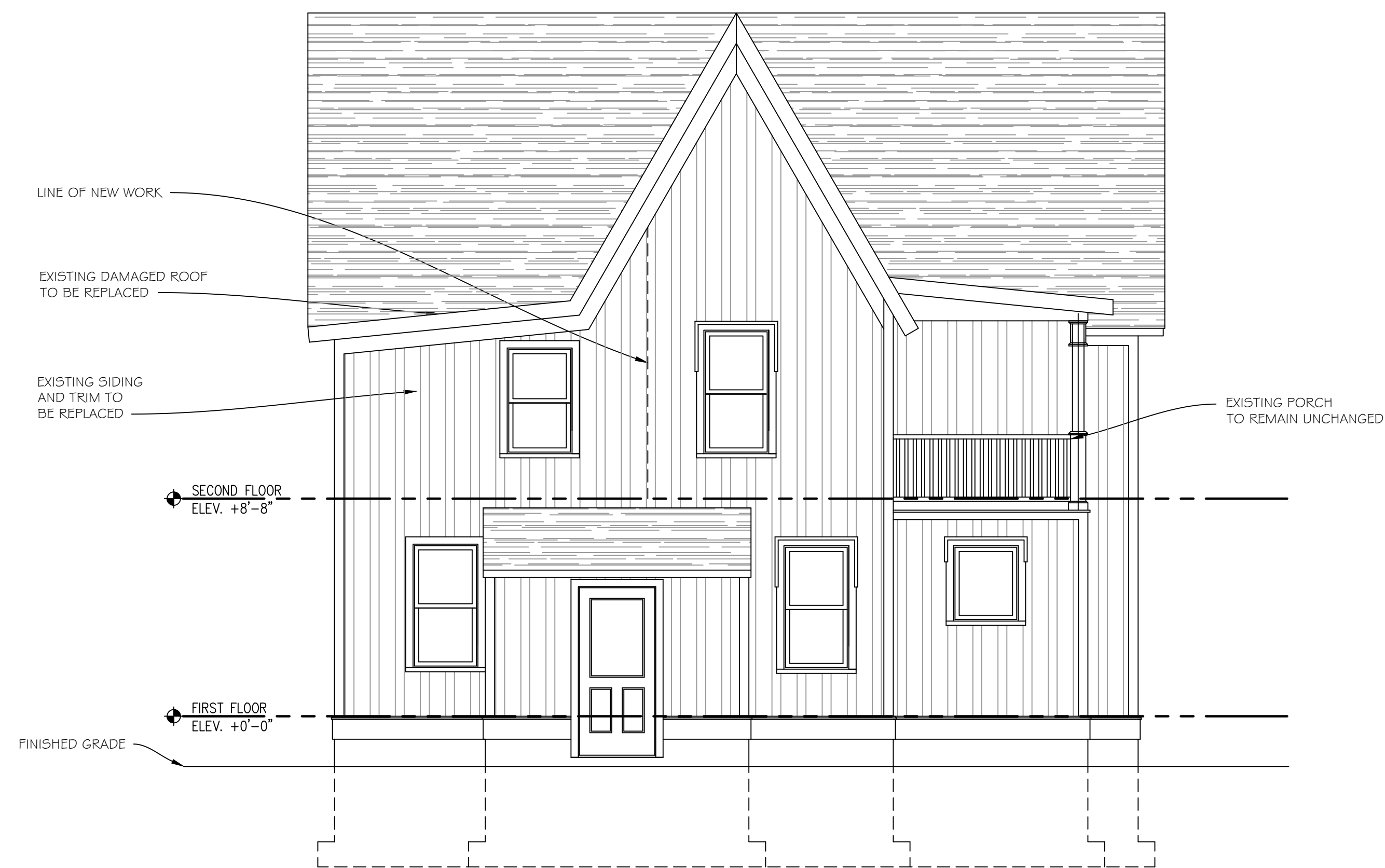
EXISTING SOUTH ELEVATION

1/4" = 1'-0"



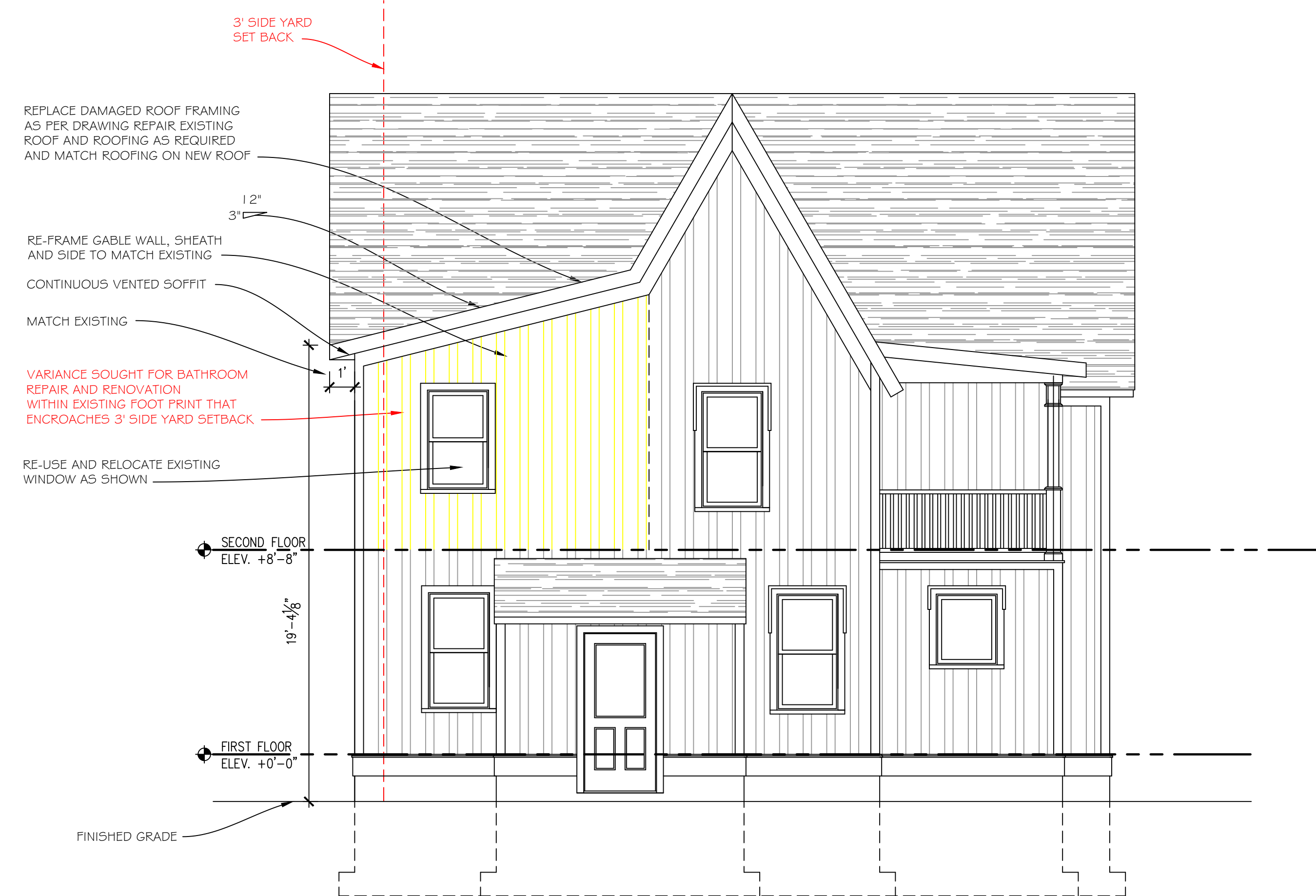
EXISTING WEST ELEVATION

1/4" = 1'-0"



EXISTING NORTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

3/8" = 1'-0"

DESIGNER:  
 JOE FLIKKEMA  
 SNOWY MOUNTAIN DESIGN  
 4655 BAKER STREET  
 LAKEWOOD, NY 14750  
 (425) 236-7426

ENGINEER:  
 PETER RADKA  
 ROCK HILL ENGINEERING, LLC  
 6949 KINGS CORNER ROAD  
 PANAMA, NY 14767  
 (716) 782-2206

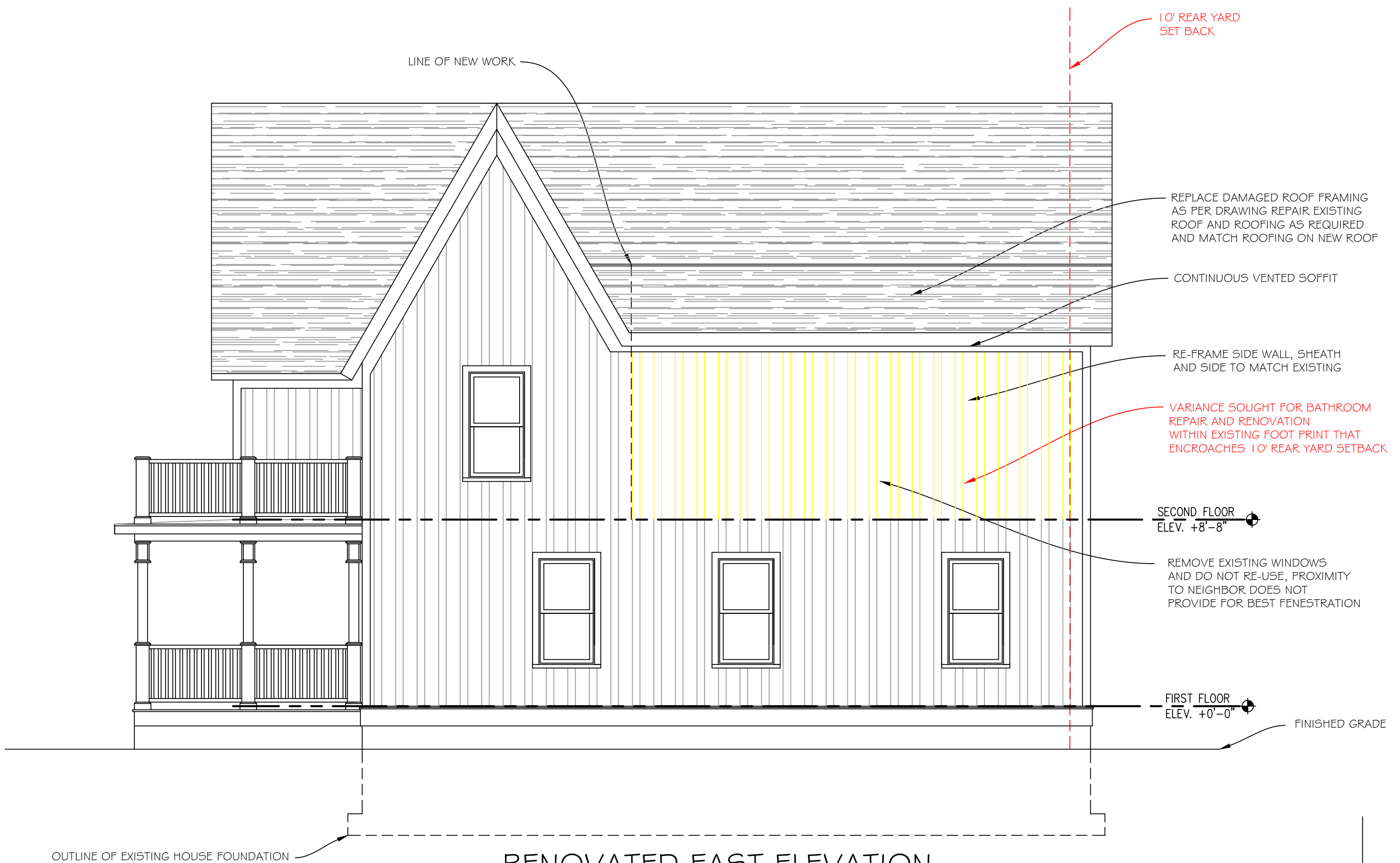
ELEVATIONS  
 LYNCH RESIDENCE  
 100 N. JEFFERSON ST.  
 CHAUTAQUA, NY 14722

DRAWN:  
 JOE FLIKKEMA  
 DATE:  
 9/11/2023  
 SHEET #:  
 A1  
 2 OF 6



EXISTING EAST ELEVATION

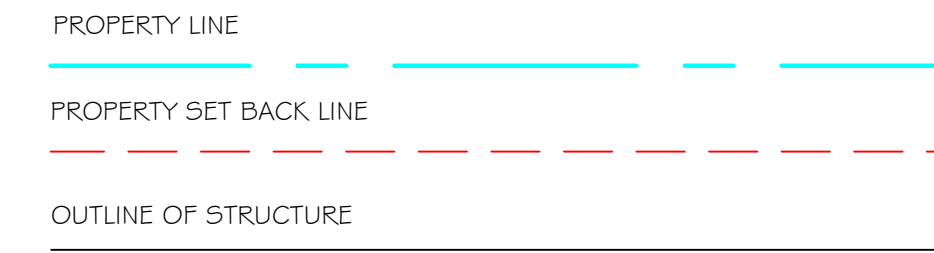
1/4" = 1'-0"



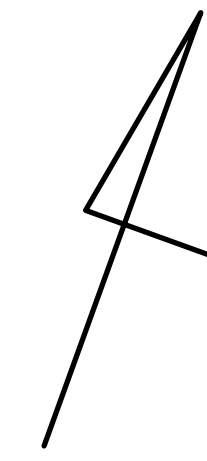
RENOVATED EAST ELEVATION

1/4" = 1'-0"

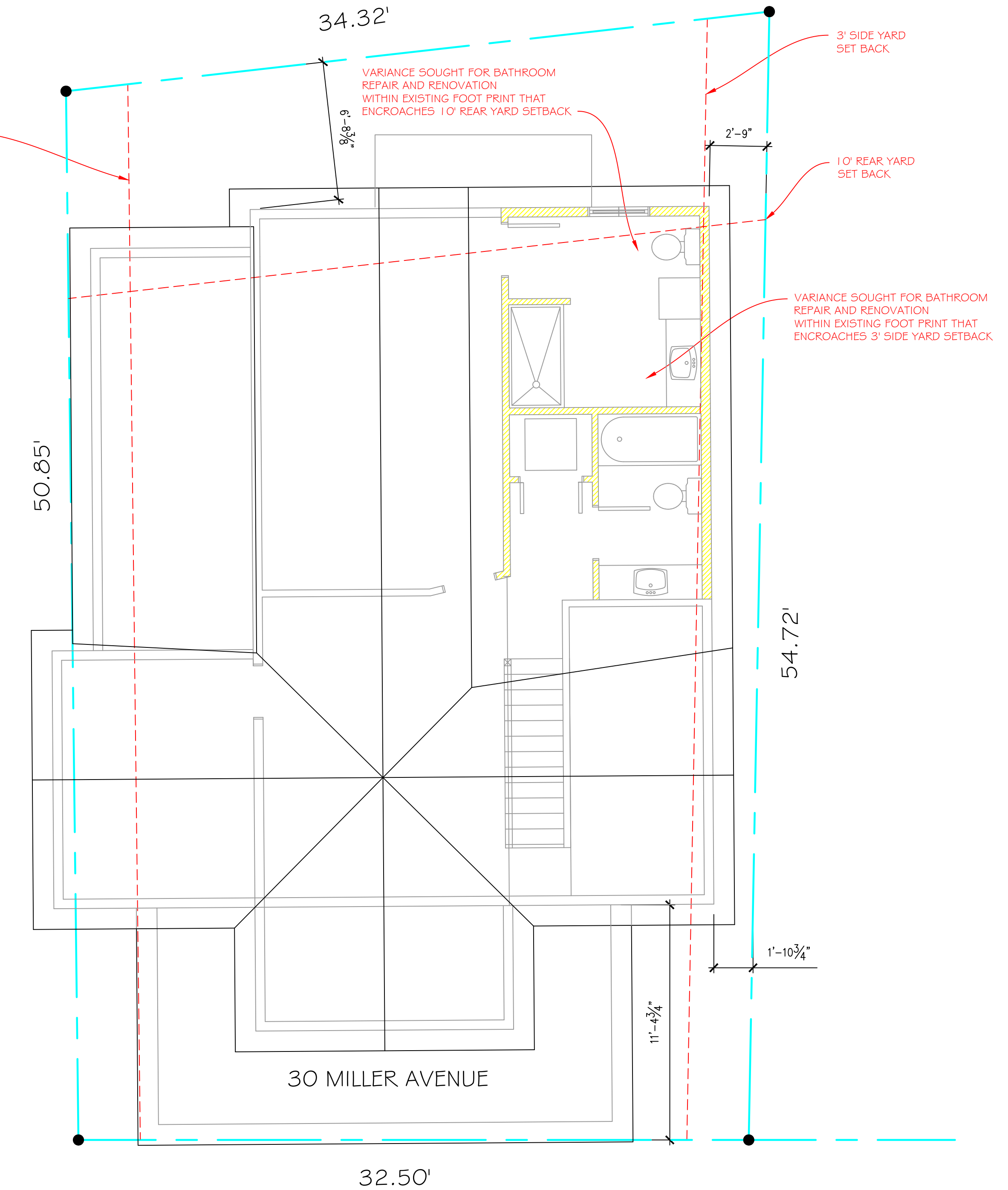
LEGEND:



NORTH



WYTHE AVENUE



MILLER AVENUE

0 5 10 15 20



SITE PLAN

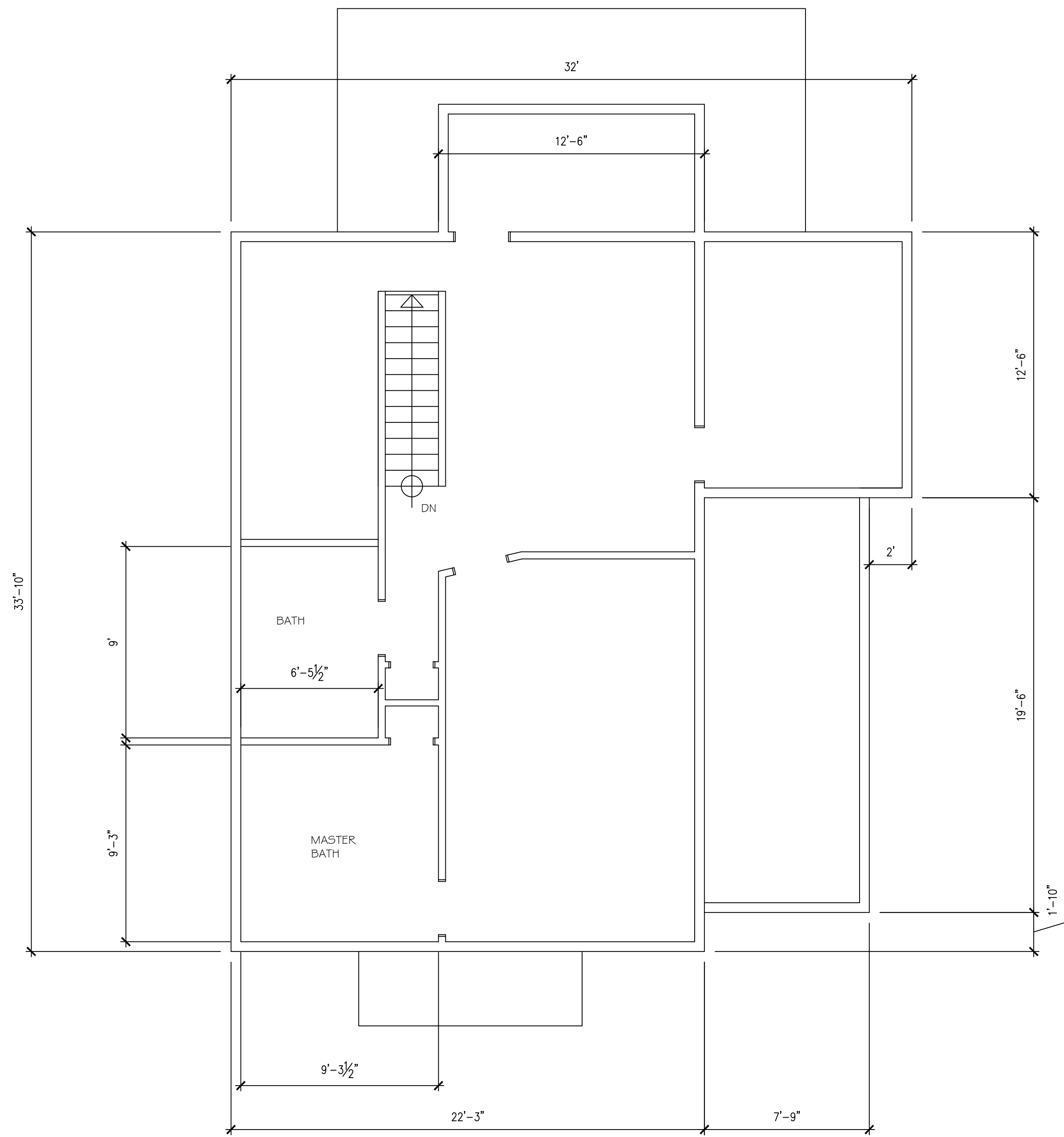
1/4" = 1'-0"

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ELEVATIONS-SITE PLAN  
 LYNCH RESIDENCE  
 10 MILLER AVENUE  
 CHAUTAQUA, NY 14722

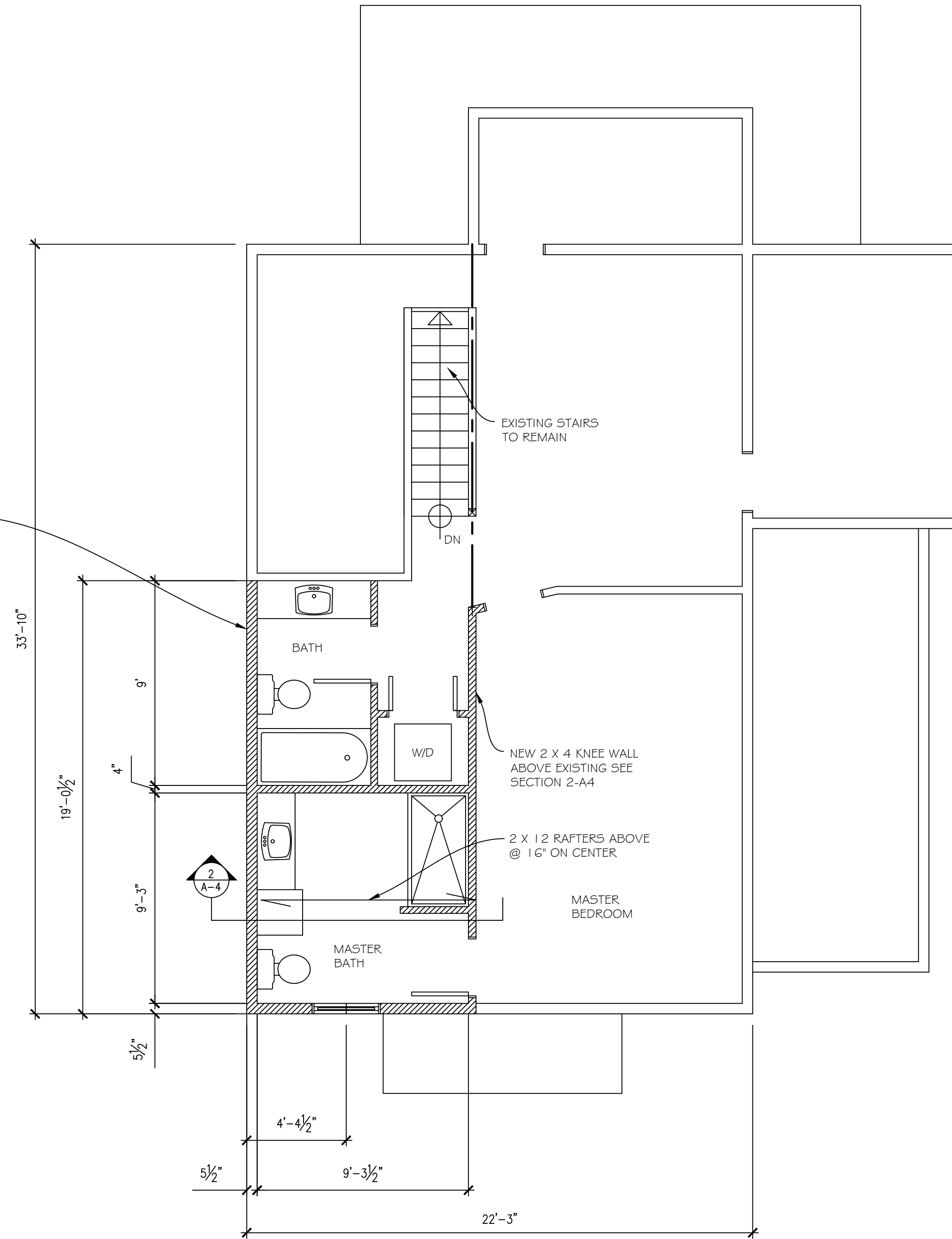
DRAWN:  
 JOE FLIKKEMA  
 DATE:  
 9/11/2023  
 SHEET #:  
 A2  
 3 OF 6



EXISTING SECOND FLOOR PLAN

1/4" = 1'-0"

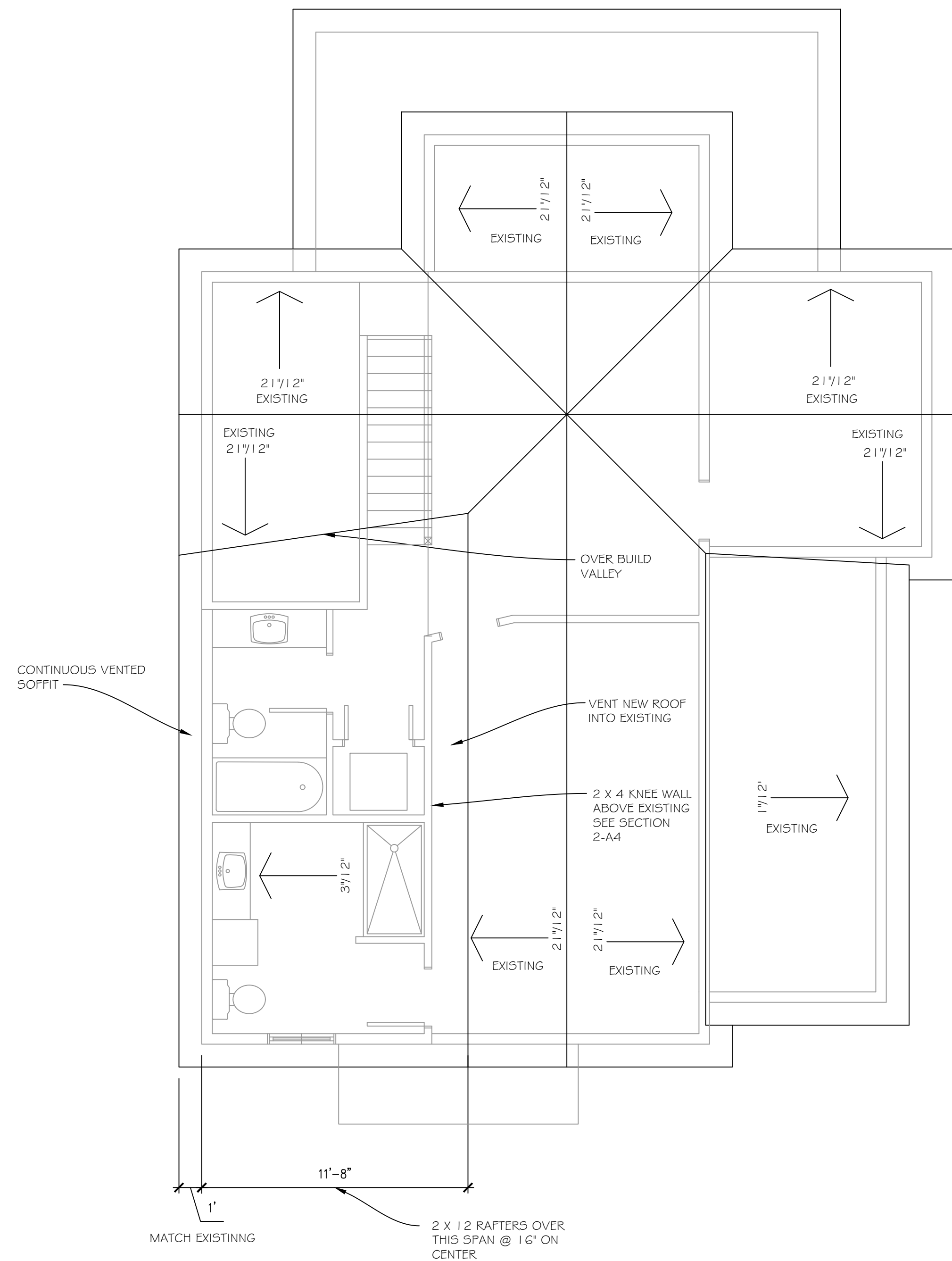
REMOVE EXISTING DAMAGED BATHROOM WALL FRAMING AND REPLACE WITH NEW 2 X 6 WALL STUD FRAMING @ 16" ON CENTER, FULL 8' HEIGHT



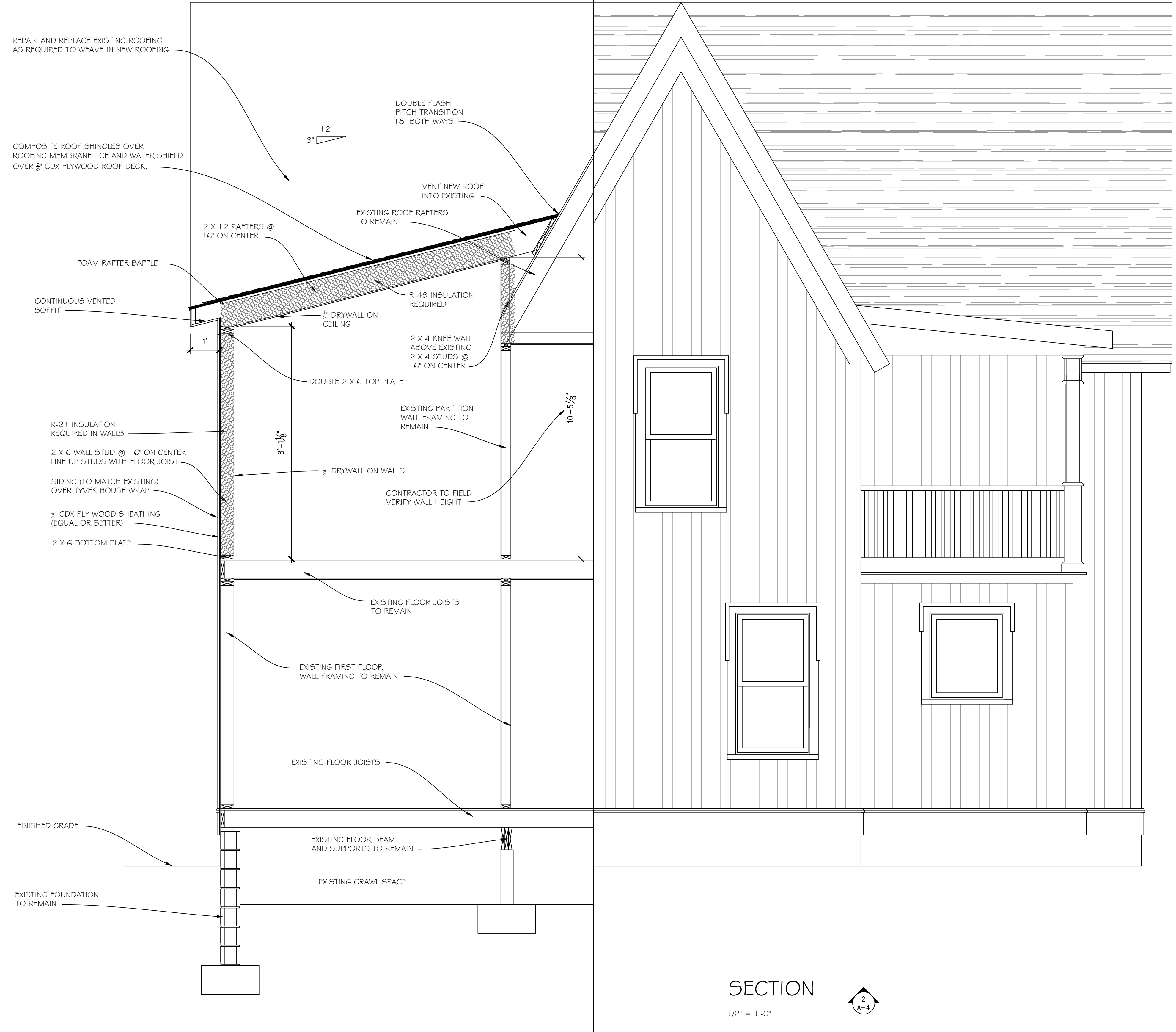
PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

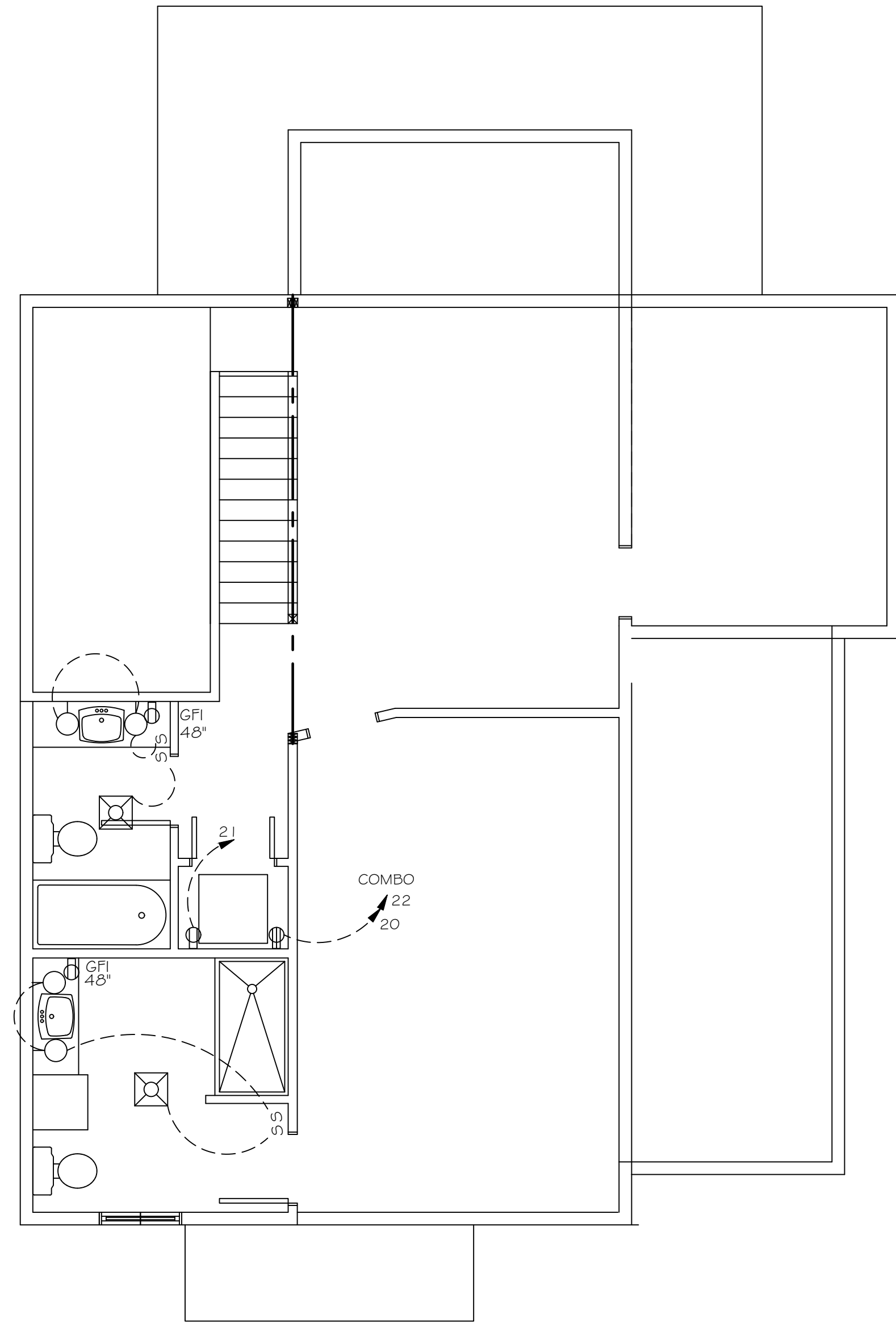




**ROOF PLAN**  
1/4" = 1'-0"



**SECTION**  
1/2" = 1'-0"  
2  
A-4



SECOND FLOOR ELECTRICAL PLAN

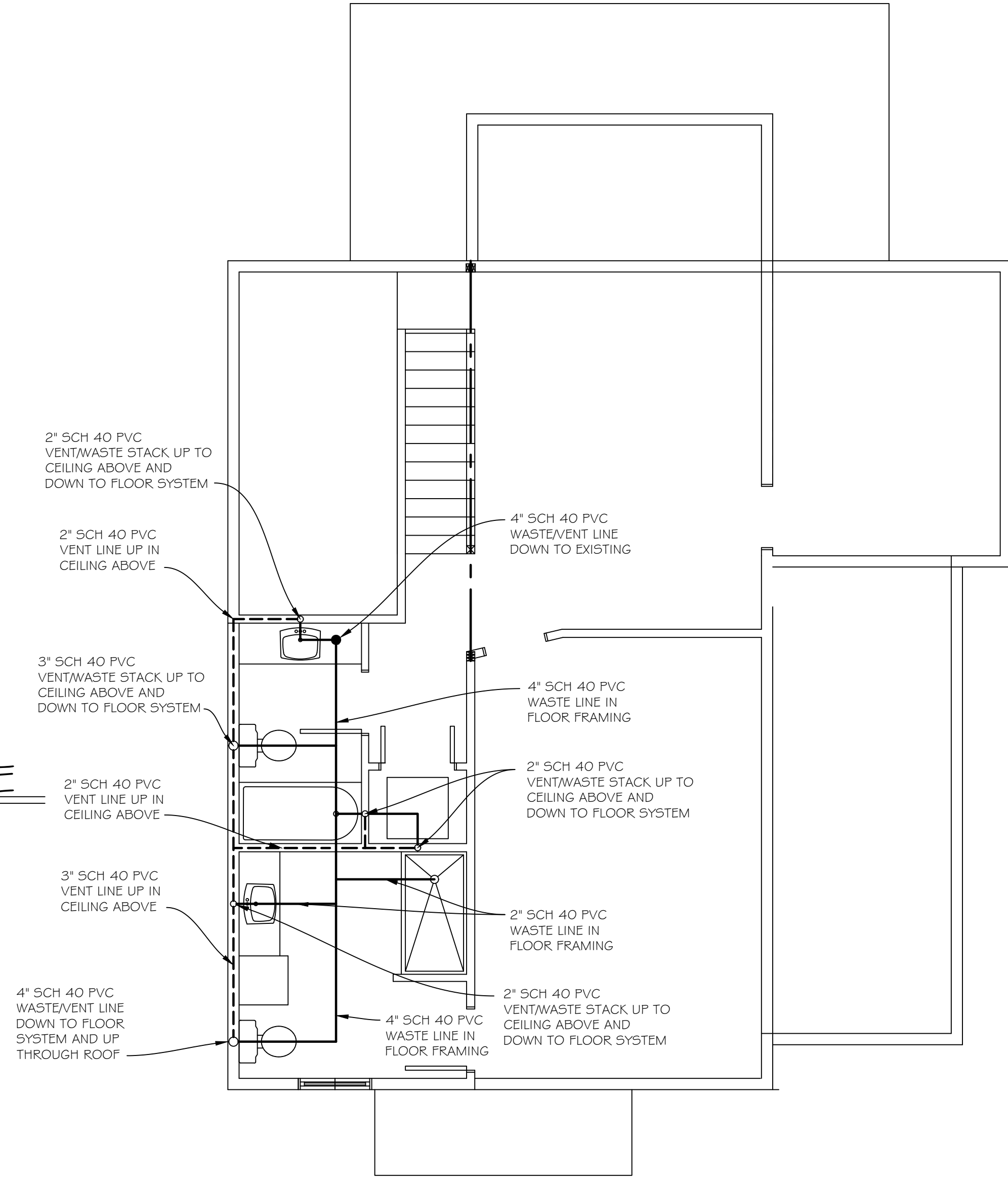
1/4" = 1'-0"

ELECTRICAL SYMBOL SCHEDULE

- S SINGLE POLE SWITCH
- ⊕ DUPLEX OUTLET
- ⊕<sup>GFI</sup> DUPLEX OUTLET GFI PROTECTED
- S<sup>3</sup> 3 WAY SWITCH
- ⊕<sup>WP</sup> WEATHER PROOF OUTLET COVER PROTECTED
- ⊠ ELECTRIC BREAKER PANEL
- RH RANGE HOOD EXHAUST FAN
- ⊠ BATHROOM EXHAUST FAN/LIGHT COMBO VENTED TO EXTERIOR
- 3 HOME RUN, BREAKER NUMERATED
- ⊕ 240 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE/CO DETECTOR COMBO
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ CEILING FAN
- ⊕<sup>48"</sup> OUTLET WITH HEIGHT TO CENTER OF BOX INDICATED
- J JUNCTION BOX WITH DISCONNECT
- PENDANT MOUNT LIGHT FIXTURE
- S<sup>4</sup> 4 WAY SWITCH
- H HEAT DETECTOR INTER CONNECTED WITH BATTERY BACK UP
- EXIT EMERGENCY EXIT LIGHT FIXTURE WALL OR CEILING MOUNTED

PLUMBING SYMBOL SCHEDULE

- PVC WASTE LINE, SIZE AS INDICATED
- - - - - PVC VENT LINE, SIZE AS INDICATED
- PVC VENT STACK UP TO THE FLOOR ABOVE OR ROOF
- PVC VENT STACK DOWN TO THE FLOOR BELOW



SECOND FLOOR PLUMBING PLAN

1/4" = 1'-0"