



## OFFICE OF CAMPUS PLANNING & OPERATIONS

### ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

September 27th 2023

Dear Chautauquan,

The owner of 39 Howard Hanson, Georgia Court, in the Woodlands District, is coming before the Architectural Review Board with plans proposing a permeable driveway to be constructed as part of a New Building Construction project that does not connect to the driveway easement for Lot #9 that was specified in the development plan for the Woodlands District. Therefore, this requires an Architectural Review Board review for the request made as part of this proposal.

Variances/Requests being considered:

- 1) Request to construct a permeable driveway that connects to Howard Hanson without using the Woodlands District Lot #9 specified driveway easement (ALU Section 4.9.2).

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project may be reviewed online using the following link: [Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://www.chq.org/architecture-review-board-arb-news-and-notes)

The Architectural Review Board will meet on **November 2nd 2023 in the Turner Conference Room at 12:00pm Noon**. Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at [arb@chq.org](mailto:arb@chq.org) until 12:00pm noon on November 1st 2023.

Thank you for your time,

**Ryan B. Boughton, Assoc. AIA**

Administrator of Architectural and Land Use Regulations

[rboughton@chq.org](mailto:rboughton@chq.org) | o: 716.357.6245

PO Box 28 • Chautauqua, NY 14722  
716.357.6245 • 716.357.9014 (fax)  
[ARB@chq.org](mailto:ARB@chq.org) • [chq.org](https://www.chq.org)

COURT RESIDENCE

39 HOWARD HANSON AVENUE

"CHAUTAUQUA INSTITUTION · WOODLANDS SUB-DISTRICT"

TOWN OF CHAUTAUQUA · COUNTY OF CHAUTAUQUA

NEW YORK, 14757



LARSON  
· KARLE  
ARCHITECTS

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3 Farm Colony Drive • Warren, PA 16965  
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Pittsburgh  
1601 Marys Ave., Suite 202 • Pittsburgh, PA 15215  
412 • 504 • 1553

Eric  
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814 • 433 • 7667



ADDENDUMS		
No.	Date	Name

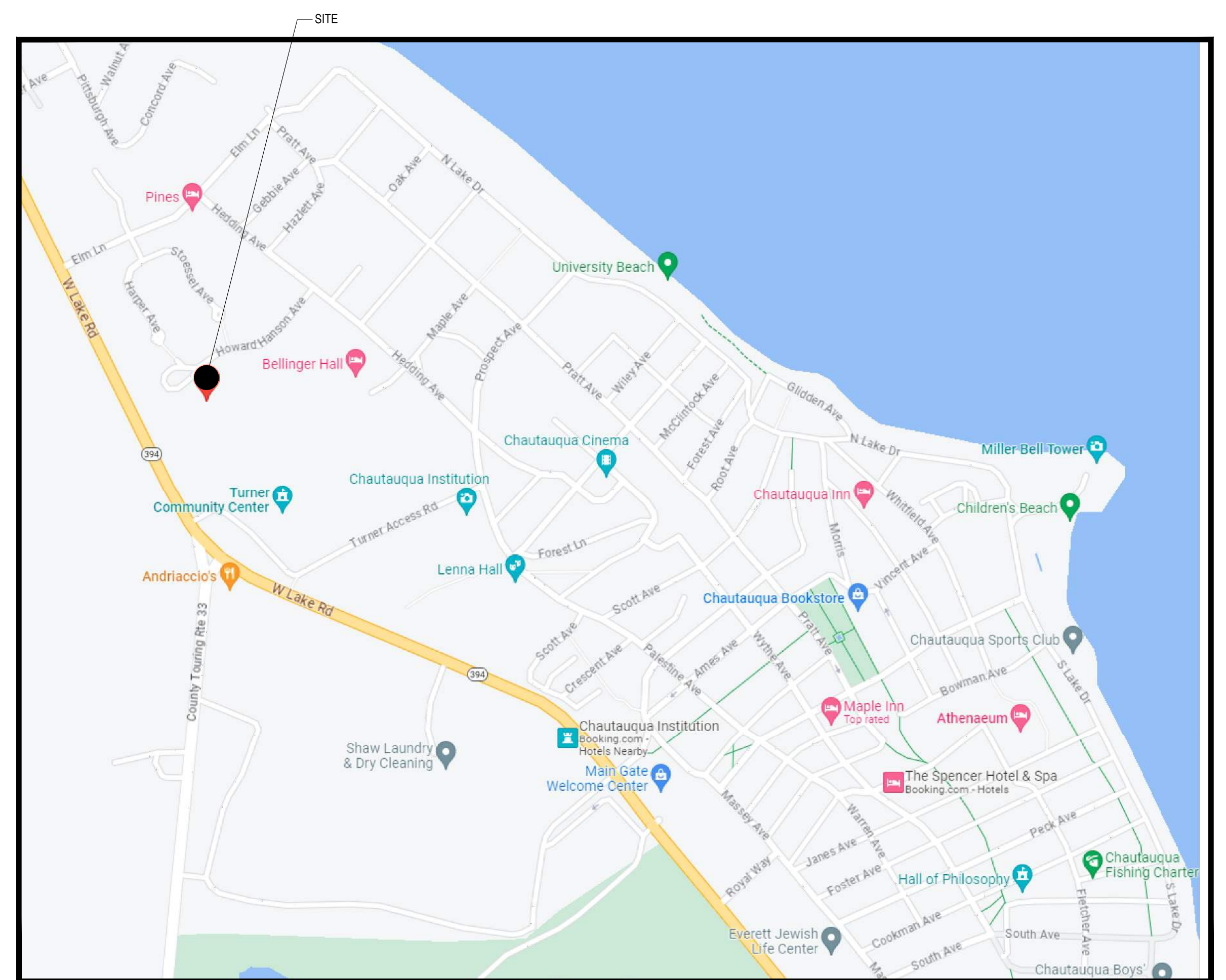
DRAWING INDEX

GENERAL		STRUCTURAL		ARCHITECTURAL		MECHANICAL	
CS01	COVER SHEET	S101	FOUNDATION PLAN	A101	FIRST FLOOR PLAN	M101	FIRST & SECOND FLOOR MECHANICAL PLANS
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		S201	SECOND FLOOR FRAMING PLAN	A201	BUILDING ELEVATIONS		
		S202	ROOF FRAMING PLAN	A202	BUILDING ELEVATIONS		
				A301	BUILDING SECTIONS		
				A401	ROOF PLAN		
				A701	INTERIOR ELEVATIONS		
				A702	INTERIOR ELEVATIONS		

SITE		ELECTRICAL	
L100	EX. COND./DEMO PROPOSED LAYOUT CONCEPT PLANTING	E101	FIRST & SECOND FLOOR POWER & LIGHTING PLANS

GENERAL NOTES

- ALL WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES HAVING JURISDICTION.
- ALL EXISTING DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED BY ALL TRADES AT THE SITE.
- STRUCTURAL WORK: DO NOT CUT AND PATCH STRUCTURAL WORK IN SUCH A MANNER RESULTING IN A REDUCTION IN LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. SUBMIT PROPOSAL AND REQUEST, AND OBTAIN ARCHITECTS/ENGINEER'S APPROVAL BEFORE PROCEEDING WITH CUT AND PATCH OF STRUCTURAL WORK.
- PENETRATIONS: CONTRACTORS SHALL MAINTAIN IN ALL CIRCUMSTANCES, PROPER RATINGS WHEN PENETRATING WALLS, FLOORS, AND CEILINGS.
- DIMENSIONS GIVEN ON PLANS AND SCHEDULES ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED. ALL CONTRACTORS AND MANUFACTURERS TO COORDINATE ALL DIMENSIONS CONCERNING DOOR/PANELS/WINDOWS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
- MANUFACTURER'S INSTRUCTIONS: COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS, TO THE EXTENT THAT THEY ARE MORE STRINGENT THAN REQUIREMENTS IN THE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.



LOCATION MAP  
N.T.S.

Project

Court Residence  
Howard Hanson Avenue  
Chautauqua, NY

Title  
COVER SHEET

Date  
08.22.2023

Project Number  
23035

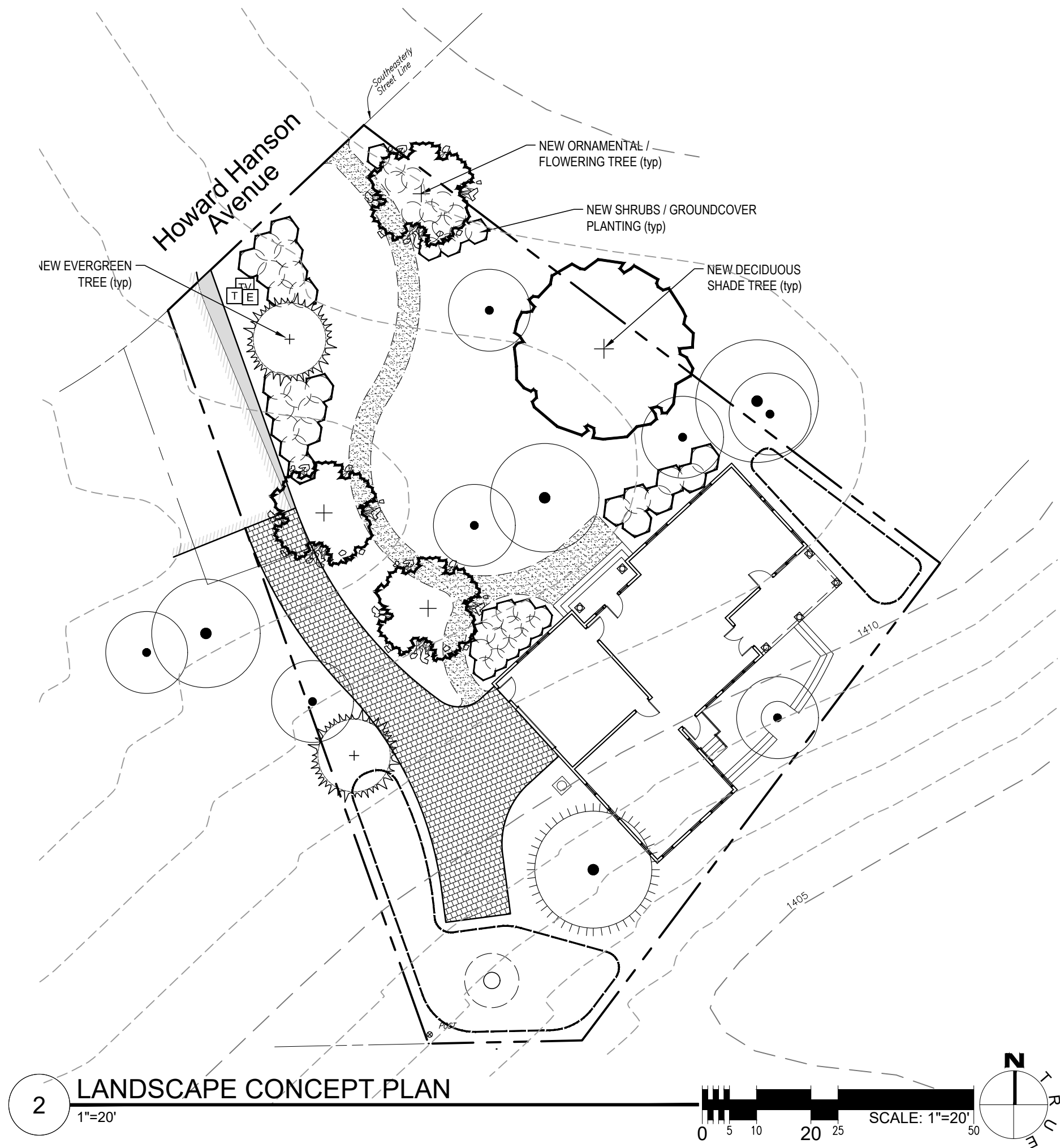
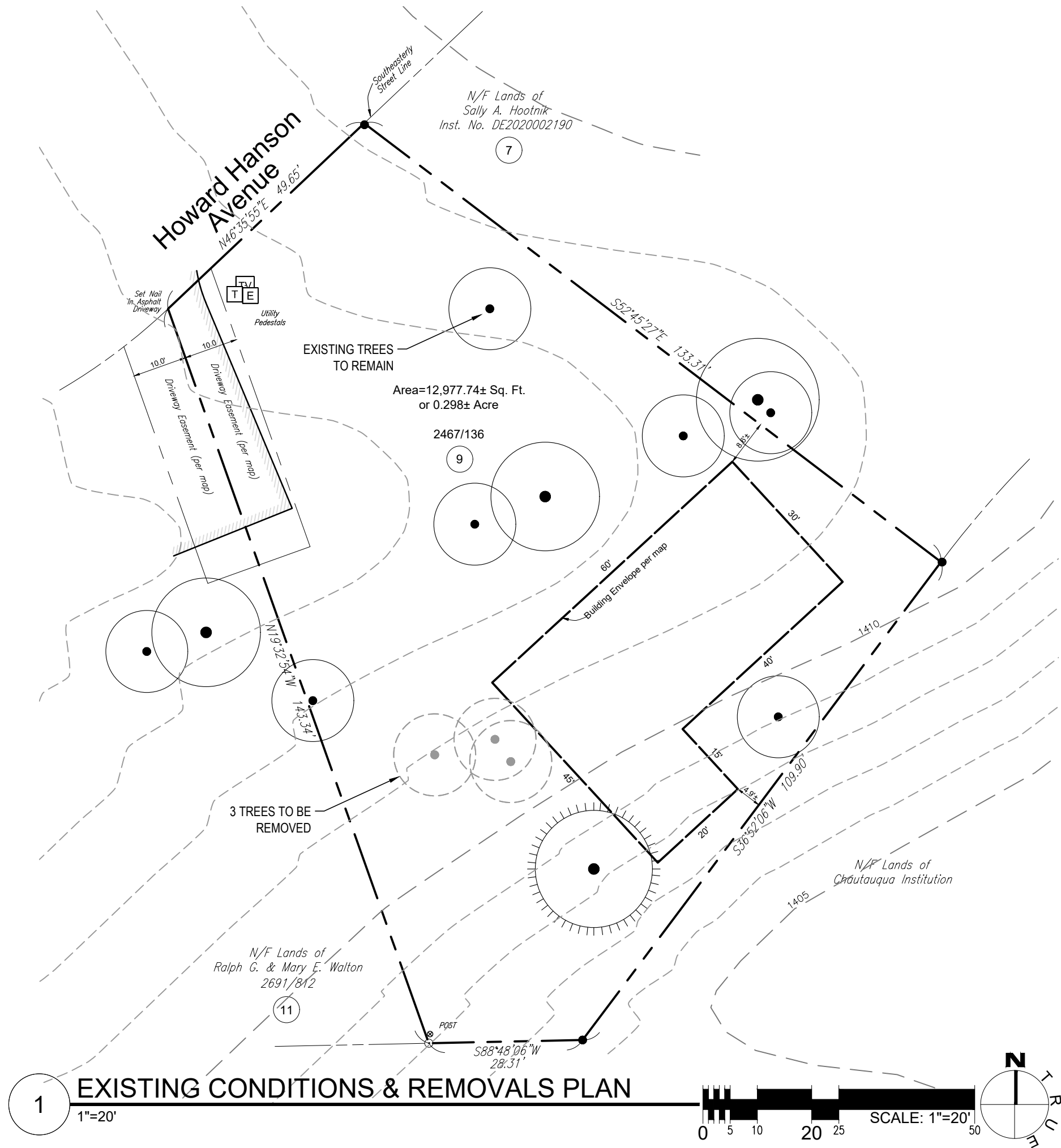
Drawn By  
HMM

Sheet Number  
CS01

ARCHITECTURE · INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE · SPACE PLANNING

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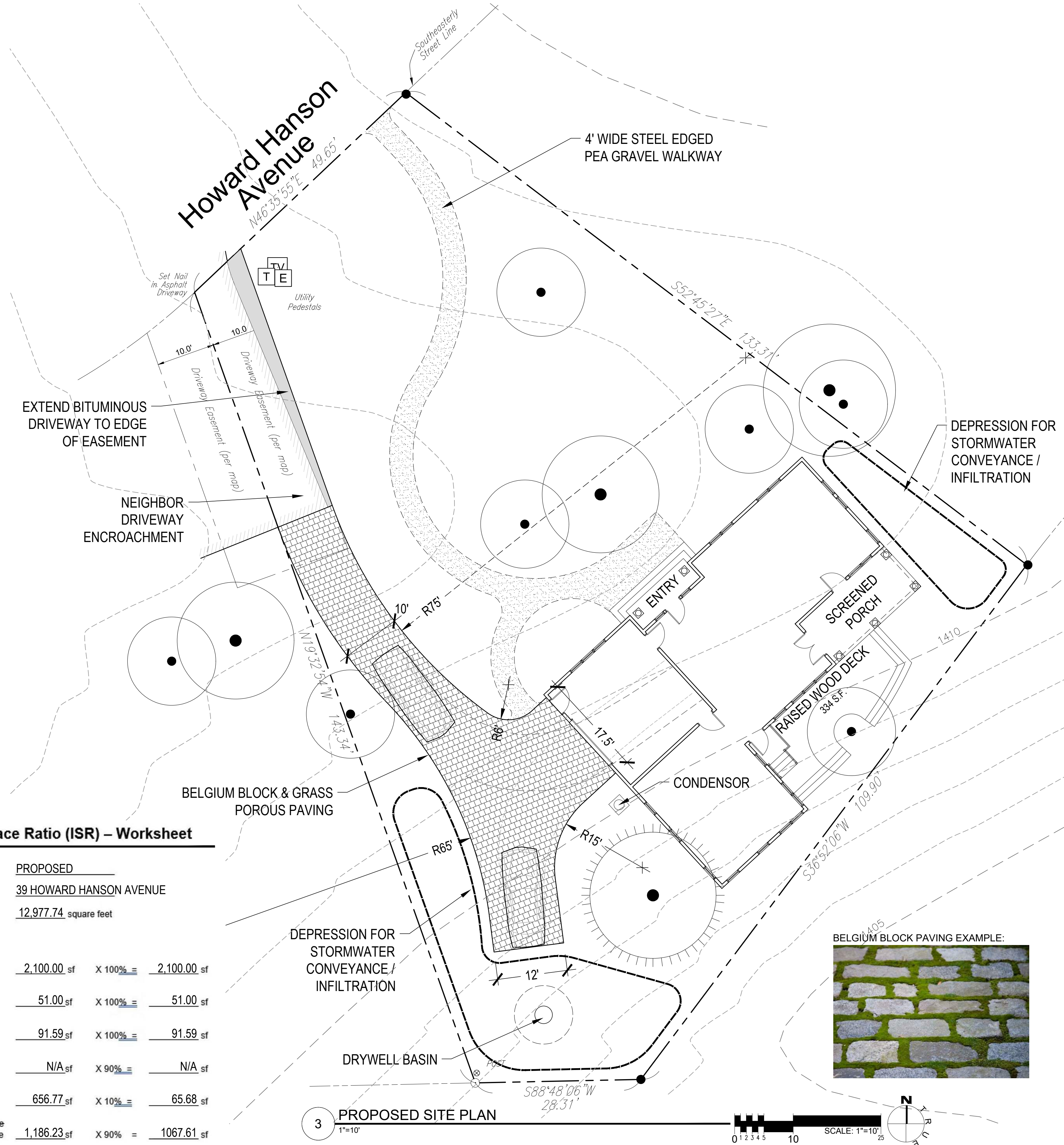


### Impervious Surface Ratio (ISR) – Worksheet

Existing or Proposed	PROPOSED			
Site Address	39 HOWARD HANSON AVENUE			
Total Lot Area	<u>12,977.74</u> square feet			
<u>Impervious Surfaces:</u>				
Total building footprint	<u>2,100.00</u> sf	X 100% =	<u>2,100.00</u> sf	
Total porches, <del>decks</del> , stairs, steps	<u>51.00</u> sf	X 100% =	<u>51.00</u> sf	
Total <del>concrete</del> or asphalt walks & drives	<u>91.59</u> sf	X 100% =	<u>91.59</u> sf	
Total gravel walks & drives	<u>N/A</u> sf	X 90% =	<u>N/A</u> sf	
Total <del>crushed</del> or washed stone walks & drives	<u>656.77</u> sf	X 10% =	<u>65.68</u> sf	
Total brick, pavers or <del>flagstone</del> set in min. sand or gravel base	<u>1,186.23</u> sf	X 90% =	<u>1067.61</u> sf	
Total brick, pavers or flagstone set in permeable bed	<u>N/A</u> sf	X 10% =	<u>N/A</u> sf	
Other Wood Deck over Permeable Surface	<u>334.00</u> sf	X <u>10</u> % =	<u>33.40</u> sf	
<u>Total Impervious Surface Area:</u>			<u>3,409.28</u> sf	
<u>3,409.28</u>	/	<u>12,977.74</u> =	<u>0.26</u>	
Total Impervious Surface Area	divided by	Total Lot Area =	ISR	

MAXIMUM ALLOWABLE FOR LOT #9 - WOODLANDS DISTRICT  
3,850 sf (4.9.6 Building Yard & Bulk)

MAXIMUM ISR FOR INTERIOR LOTS = 0.35



BELGIUM BLOCK PAVING EXAMPLE:



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3 Farm Colony Drive • Warren, PA 15085  
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412 • 954 • 1553  
Erie  
1948 W. 26th St., Suite 38 • Erie, PA 16508  
814 • 653 • 7857

PRELIMINARY  
Jul 13, 2023  
NOT FOR CONSTRUCTION USE

50% Submittal

ADDENDUMS		
No.	Date	Name

Project

Court Residence  
Howard Hanson Avenue  
Chautauque, NY

Title  
EX COND./DEMO  
PROPOSED LAYOUT  
CONCEPT PLANTING

Date

Project Number  
23035

Drawn By  
HMM

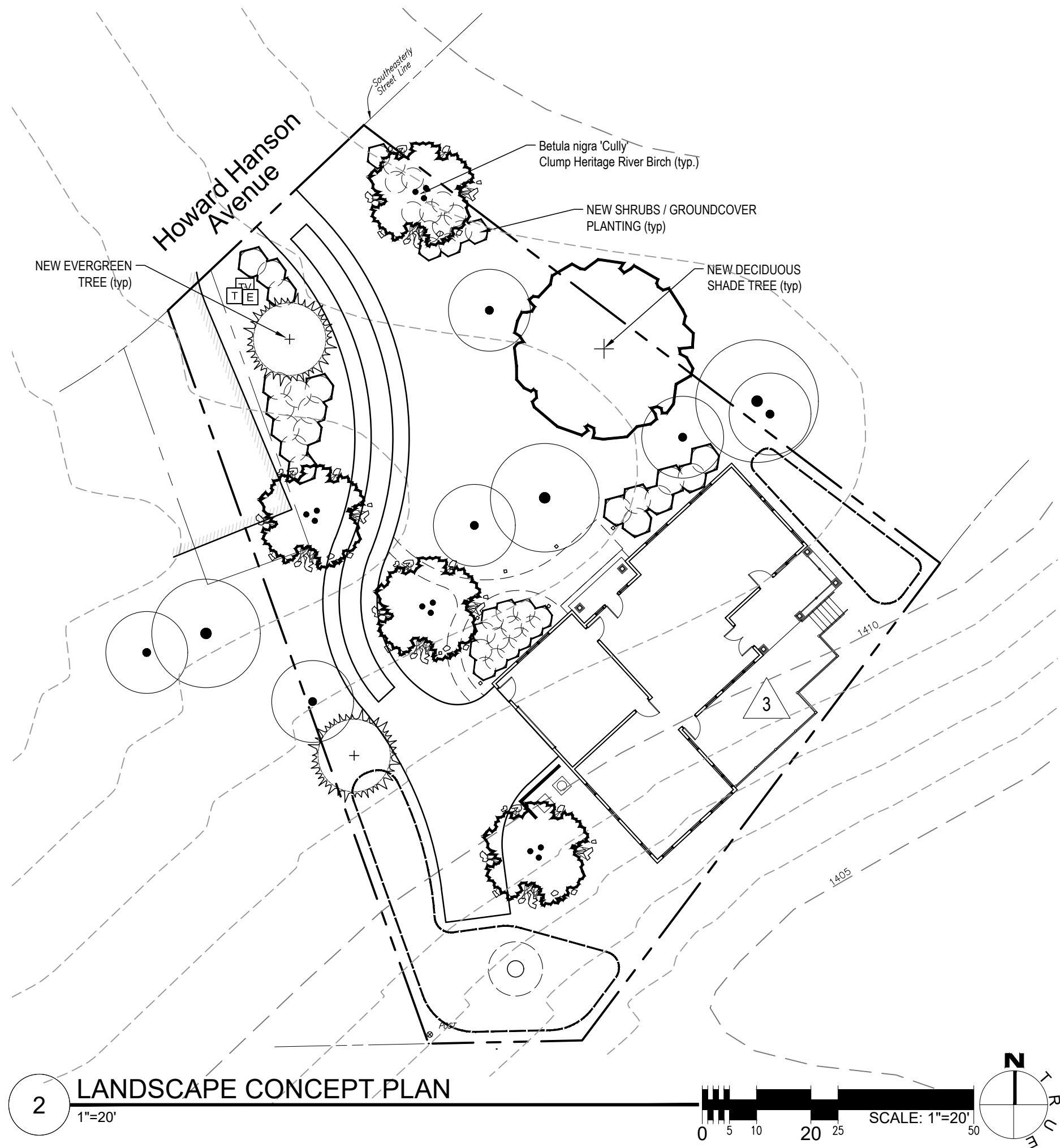
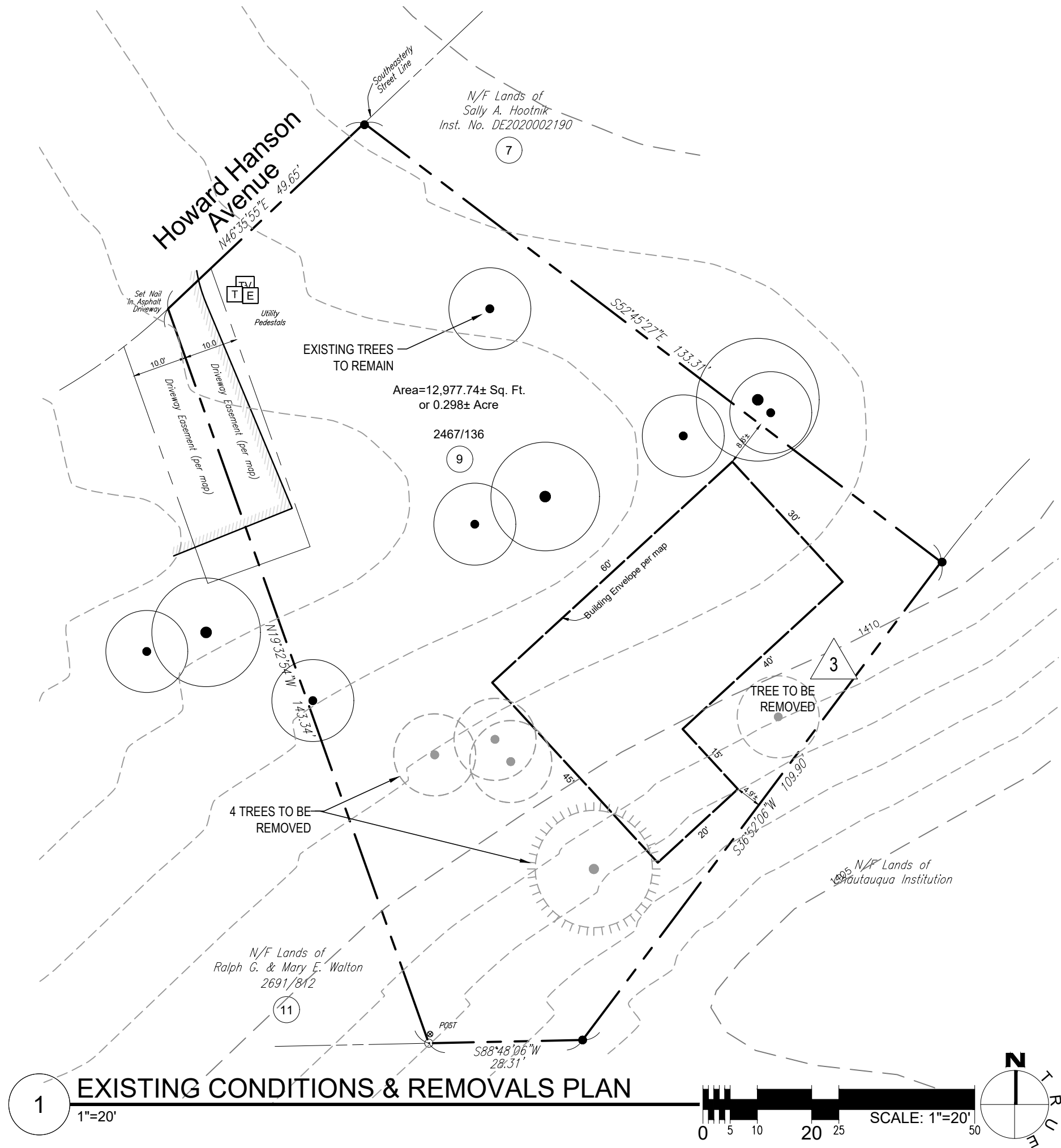
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L100

ARCHITECTURE • INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE • SPACE PLANNING

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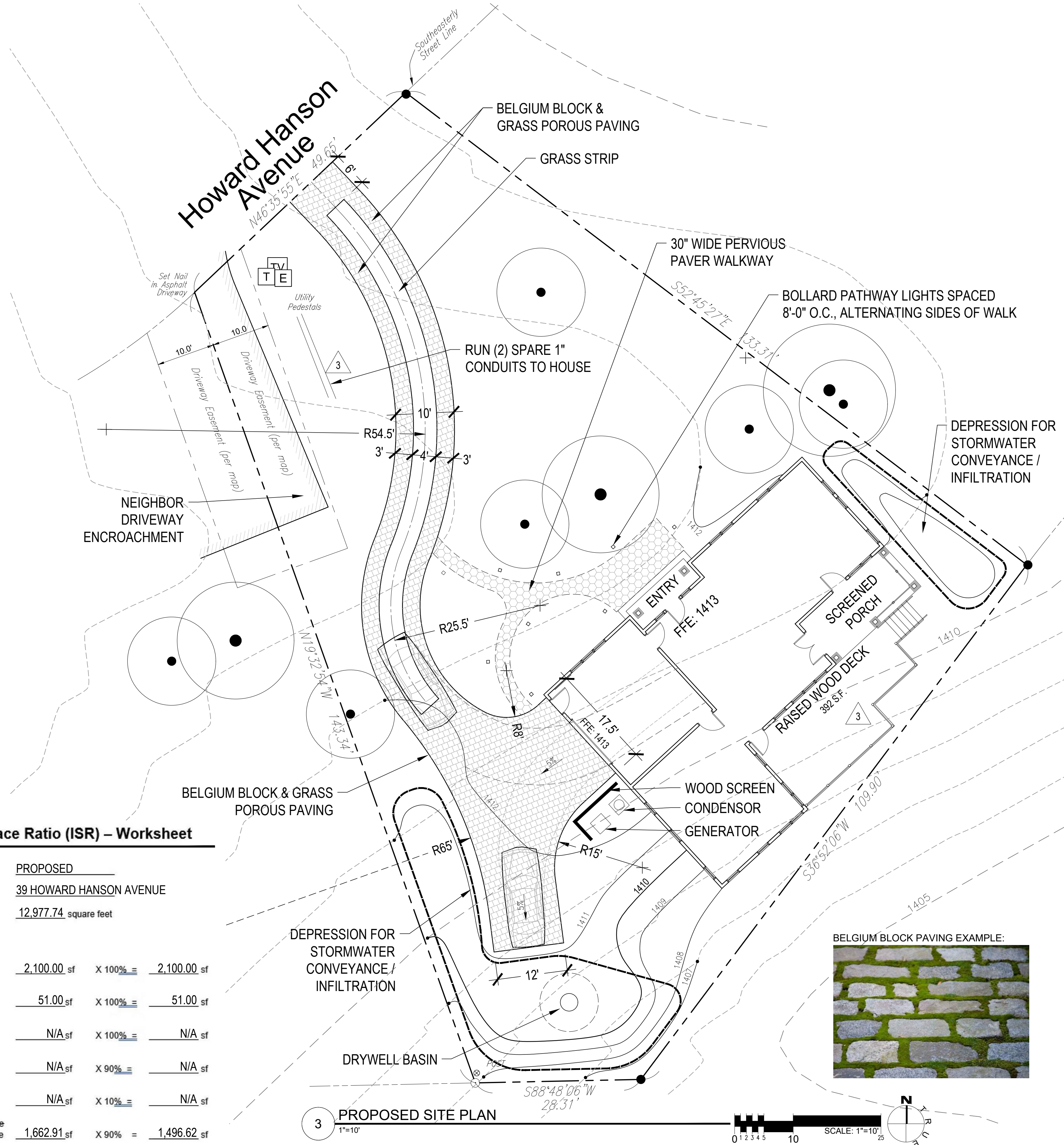


### Impervious Surface Ratio (ISR) – Worksheet

Existing or Proposed	PROPOSED		
Site Address	39 HOWARD HANSON AVENUE		
Total Lot Area	<u>12,977.74</u> square feet		
<u>Impervious Surfaces:</u>			
Total building footprint	<u>2,100.00</u> sf	X 100% =	<u>2,100.00</u> sf
Total porches, <del>decks</del> , stairs, steps	<u>51.00</u> sf	X 100% =	<u>51.00</u> sf
Total concrete or asphalt walks & drives	<u>N/A</u> sf	X 100% =	<u>N/A</u> sf
Total gravel walks & drives	<u>N/A</u> sf	X 90% =	<u>N/A</u> sf
Total crushed or washed stone walks & drives	<u>N/A</u> sf	X 10% =	<u>N/A</u> sf
Total brick, pavers or flagstone set in min. sand or gravel base	<u>1,662.91</u> sf	X 90% =	<u>1,496.62</u> sf
Total brick, pavers or flagstone set in permeable bed	<u>N/A</u> sf	X 10% =	<u>N/A</u> sf
Other Wood Deck over Permeable Surface	<u>392.00</u> sf	X 10 % =	<u>39.20</u> sf
<u>Total Impervious Surface Area:</u>			<u>3,686.82</u> sf
<u>3,681.02</u>	/	<u>12,977.74</u> =	<u>0.28</u>
Total Impervious Surface Area	divided by	Total Lot Area =	ISR

MAXIMUM ALLOWABLE FOR LOT #9 - WOODLANDS DISTRICT  
3,850 sf (4.9.6 Building Yard & Bulk)

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814 • 653 • 7857



ADDENDUMS		
No.	Date	Name
3	9.15.2023	Misc. Revisions

Project

Court Residence  
Howard Hanson Avenue  
Chautauque, NY

Title  
EX COND./DEMO  
PROPOSED LAYOUT  
CONCEPT PLANTING

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