



OFFICE OF CAMPUS PLANNING & OPERATIONS

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

December 18th 2023

Dear Chautauquan,

The owners of the Chautauqua Inn at 16 N Terrace, Brian and Erica Hunt, and Dave and Linda Shaffer, are requesting to come before the Architectural Review Board for the scope of work for renovation and rehabilitation of the Building. This work proposes interior structural alterations, interior alteration of walls to allow for changes to the layout of the Building's interior, replacement of some components of the building's exterior in-kind due to rot, and Substantial Demolition and replacement of the ground floor. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variances/Requests being considered:

1. Request for Substantial Demolition of the Building at 16 N Terrace (Architectural and Land Use Regulations Section 2.1.87)
2. Variance for new construction to come within 10'-0" of a neighboring structure (Architectural and Land Use Regulations Section 4.3.6)
3. Variance for encroachment into a setback on the North Western side of the property (Architectural and Land Use Regulations Section 4.3.6)
4. Variance for encroachment into a setback on the North Eastern side of the property (Architectural and Land Use Regulations Section 4.3.6)
5. Variance for encroachment into a setback on the South Eastern side of the property (Architectural and Land Use Regulations Section 4.3.6)

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project may be reviewed online using the following link: [Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://www.chq.org/architecture-review-board-news-and-notes)

PO Box 28 • Chautauqua, NY 14722
716.357.6245 • 716.357.9014 (fax)
ARB@chq.org • [chq.org](https://www.chq.org)

The Architectural Review Board will meet on **February 1st 2024 on a Zoom call at 12:00pm Noon. Please use the link below if you would like to join the Zoom call.** Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at arb@chq.org until 12:00pm noon on January 31st 2024.

Topic: ARB Meeting

Time: Feb 1, 2024 12:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/85642067137?pwd=WTlmeiNaNWNEb3kvNjBPVGhhQ0c5QT09>

Meeting ID: 856 4206 7137

Passcode: 0201

One tap mobile

+16469313860,,85642067137#,,,,*0201# US

+16468769923,,85642067137#,,,,*0201# US (New York)

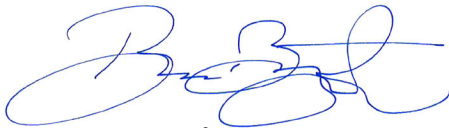
Dial by your location

- +1 646 931 3860 US
- +1 646 876 9923 US (New York)
- +1 312 626 6799 US (Chicago)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 719 359 4580 US
- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 408 638 0968 US (San Jose)
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 689 278 1000 US

Find your local number: <https://us02web.zoom.us/j/kbsUzCxn7Y>

Thank you for your time!

Respectfully,



Ryan B. Boughton, Assoc. AIA

Administrator of Architectural and Land Use Regulations

rboughton@chq.org | o: 716.357.6245

PO Box 28 • Chautauqua, NY 14722
716.357.6245 • 716.357.9014 (fax)
ARB@chq.org • chq.org

PROJECT DIRECTORY

CLIENT	ARCHITECT
—	CUMBY ARCHITECTURE CONTACT: DAVID CUMBY 1951 TAYLOR STREET SAN FRANCISCO, CA 94133 TEL: 415.505.1536 EMAIL: david@cumbyarchitecture.com
STRUCTURAL	CONTRACTOR
—	—

DRAWING LIST

ARCHITECTURAL	
A1.0A	PROJECT INFORMATION
A1.0B	EXISTING AND PROPOSED PLOT PLANS
A1.1	DEMO FIRST FLOOR PLAN
A1.2	DEMO SECOND FLOOR PLAN
A1.3	DEMO THIRD FLOOR PLAN
A1.4	DEMO FOURTH FLOOR PLAN
A2.1	PROPOSED FIRST FLOOR PLAN
A2.2	PROPOSED SECOND FLOOR PLAN
A2.3	PROPOSED THIRD FLOOR PLAN
A2.4	PROPOSED FOURTH FLOOR PLAN
A3.1	EXISTING WEST ELEVATION
A3.2	EXISTING AND PROPOSED SOUTH ELEVATIONS
A3.3	EXISTING AND PROPOSED EAST ELEVATIONS
A3.4	EXISTING AND PROPOSED NORTH ELEVATIONS
A6.1	FIRST FLOOR REFLECTED CEILING PLAN
A6.2	SECOND FLOOR REFLECTED CEILING PLAN
A6.3	THIRD FLOOR REFLECTED CEILING PLAN
A6.4	FOURTH FLOOR REFLECTED CEILING PLAN
A8.1	DETAILS
A9.1	DOOR AND WINDOW SCHEDULES
STRUCTURAL	
S1.0	PROJECT INFORMATION
S2.0	FOUNDATION PLAN
S2.1	FIRST FLOOR FRAMING PLAN
S2.2	SECOND FLOOR FRAMING PLAN

PROJECT DESCRIPTION

REQUEST FOR SUBSTANTIAL DEMOLICITION:
FOUNDATION REPLACEMENT WITH NO CHANGE IN LOT COVERAGE: NO EXISTING FOOTINGS, NEW REINFORCED CONCRETE FOOTINGS PROPOSED FOR THE ENTIRE FOUNDATION. NEW FOUNDATIONS WITHIN 10 FEET OF ADJACENT BUILDINGS NOTED ON PROPOSED SITE PLAN AND FOUNDATION PLAN.

VARIANCES:
1–NEW CONSTRUCTION WITHIN 10 FEET OF NEIGHBORING STRUCTURE
2–ENCROACHMENT INTO SETBACK AT NORHWEST CORNER OF PROPERTY
3–ENCROACHMENT INTO SETBACK AT NORTHEAST CORNER OF PROPERTY

REPLACE EXISTING ROOF SHINGLES WITH ASPHALT SHINGLES

RENOVATION OF EXISTING FOUR STORY BUILDING

AT FIRST FLOOR: REMOVE INTERIOR STAIR, REMOVE ONE BATHROOM, REPLACE KITCHEN, RENOVATE TWO BATHROOMS, ADD LAUNDRY ROOM, EXCAVATE TO INCREASE CEILING HEIGHT TO 8’-0”, NEW CONCRETE FOUNDATION. REPLACE EXTERIOR STAIR AT NORTHEAST CORNER. AT NORTH FACADE REMOVE 4 WINDOWS AND ONE DOOR, ADD ONE NEW WINDOW. AT EAST FACADE REMOVE THREE WINDOWS AND ADD 2 NEW WINDOWS AND ONE NEW DOOR.

AT SECOND FLOOR: REMOVE INTERIOR STAIR, REMOVE ONE BATHROOM, REPLACE KITCHEN, RENOVATE TWO BATHROOMS, REMOVE FIREPLACE. REPLACE EXTERIOR STAIR AT NORTHEAST CORNER. ADD NEW FIREPLACE. AT EAST FACADE REMOVE ONE WINDOW AND ADD NEW GLAZED DOORS. AT SOUTH FACADE REMOVE ONE WINDOW AND ONE DOOR AND ADD ONE NEW WINDOW.

AT THIRD FLOOR: RENOVATE FOUR BATHROOMS, ADD LAUNDRY ROOM. AT NORTH FACADE REMOVE ONE WINDOW, ADD TWO NEW WINDOWS. AT EAST FACADE REMOVE ONE WINDOW, ADD THREE NEW WINDOWS.

AT FOURTH FLOOR: RENOVATE FIVE BATHROOMS.

EXISTING GROSS FLOOR AREAS	
FIRST FLOOR	1,628 SQ FT
SECOND FLOOR	1,498 SQ FT
THIRD FLOOR	1,409 SQ FT
FOURTH FLOOR	1,231 SQ FT
BUILDING TOTAL	5,766 SQ FT

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:		
Permit Set	9–12–2022	
Architectural Review Board	11–28–2023	

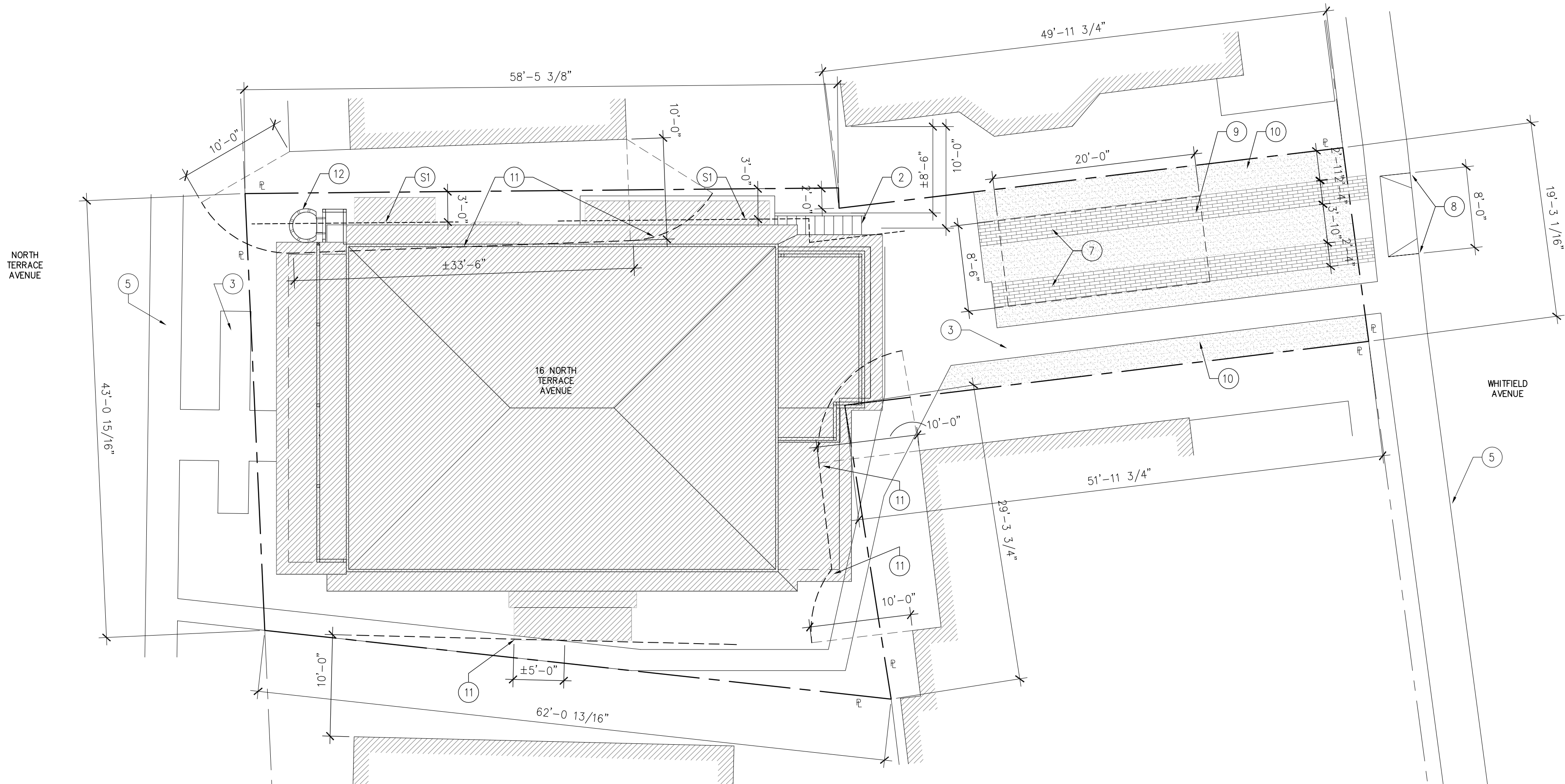
DBI STAMP:

SCALE:
TITLE: NTS

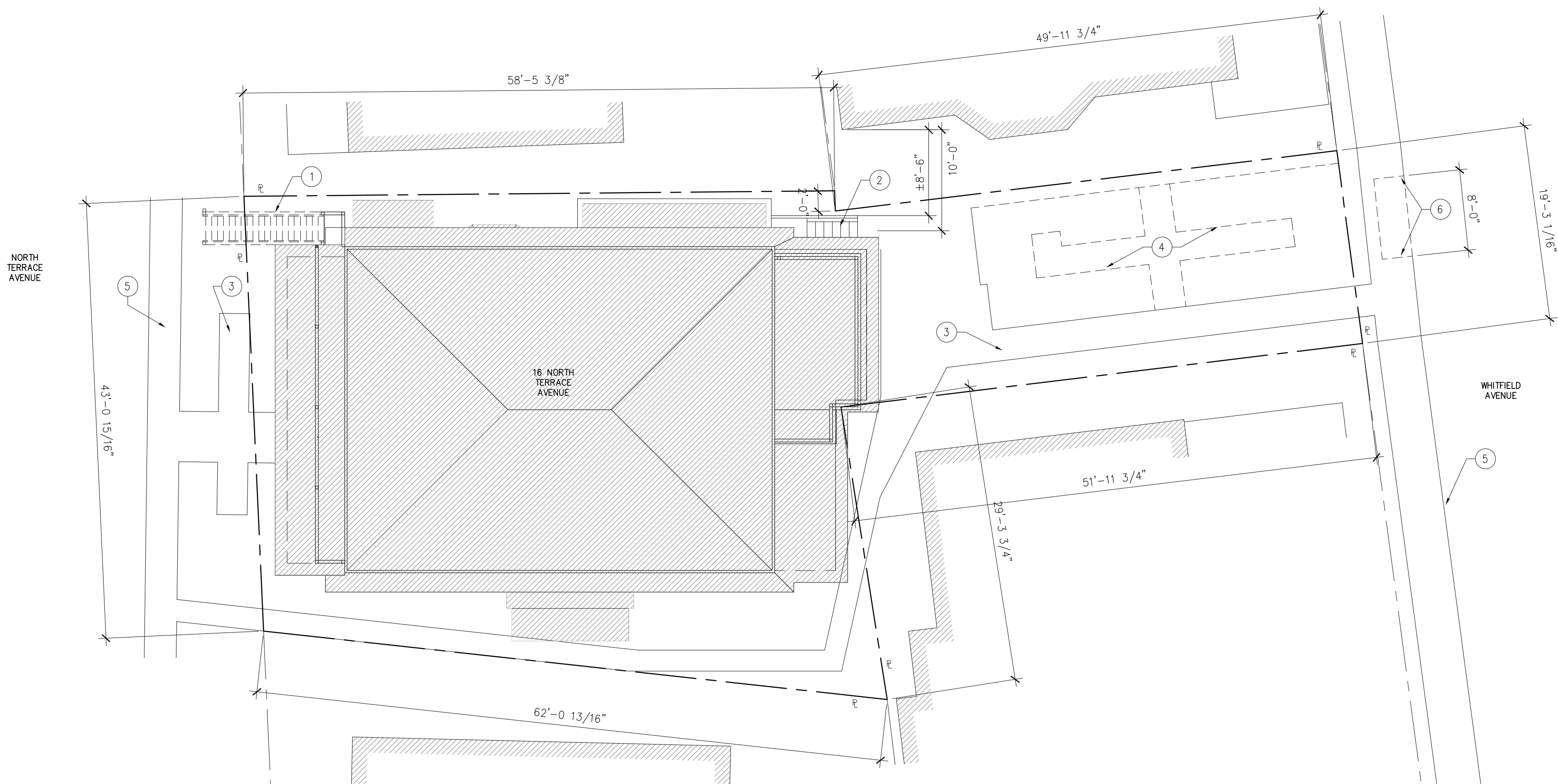
COVER SHEET

SHEET:

A1.0



2 PROPOSED
SITE PLAN / 1/8"=1'-0"



1 EXISTING
SITE PLAN / 1/8"=1'-0"

GENERAL NOTES

1. -

DRAWING LEGEND

- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- (SI) SIDE SETBACK PER CHAUTAUQUA INSTITUTION ARCHITECTURE AND LAND USE REGULATIONS 4.3.6

KEYNOTES

- ① (E) EXTERIOR STAIR TO BE REMOVED AND REPLACED WITH FIXED LADDER
- ② (E) EXTERIOR STAIR TO BE REPAIRED, NO CHANGE IN STAIR FOOTPRINT
- ③ (E) CONCRETE/BRICK PAVING TO REMAIN U.O.N.
- ④ (E) CONCRETE PAVING TO BE REMOVED
- ⑤ (E) SIDEWALK TO REMAIN U.O.N.
- ⑥ SEGMENT OF (E) SIDEWALK TO BE REMOVED
- ⑦ (N) PERMEABLE BRICK PAVING
- ⑧ (N) CONCRETE CURB CUT
- ⑨ (N) SINGLE CAR PARKING SPACE, 8'-6" X 20'-0"
- ⑩ (N) PLANTING AREA, MIN. 18" WIDE AT PROPERTY LINES
- ⑪ (N) FOUNDATION WORK WITHIN 10 FEET OF ADJACENT PROPERTY, SEE SHEET S2.0 FOR FOUNDATION PLAN
- ⑫ (N) FIXED LADDER

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:

Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

SCALE:

1/8"=1'-0"

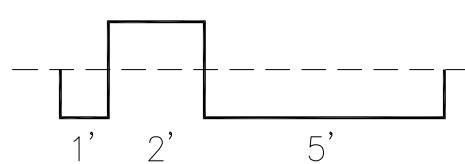
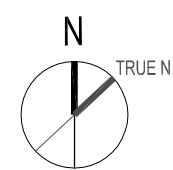
TITLE:

EXISTING AND
PROPOSED
SITE PLANS

SHEET:

A1.0B

PROJECT



GRAPHIC SCALE

GENERAL NOTES

1. -

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

DRAWING LEGEND

- (E)

DENOTES EXISTING FIXTURE TO REMAIN
- (X)

DENOTES EXISTING FIXTURE TO BE REMOVED
- EXISTING WALL
- WALL/ELEMENT TO BE REMOVED

KEYNOTES

- 1

(E) WOOD FLOOR TO BE REMOVED, FLOOR ELEVATION TO BE LOWERED ±18", PROVIDE TEMPORARY SUPPORT AS REQUIRED, EXTENT OF EXCAVATION TO BE DETERMINED
- 2

(E) WALL TO BE REMOVED; PROVIDE TEMPORARY SUPPORT AS REQUIRED
- 3

(E) WOOD POST TO BE REMOVED; PROVIDE TEMPORARY SUPPORT AS REQUIRED
- 4

(E) KITCHEN TO BE REMOVED
- 5

(E) BATHROOM FIXTURES TO BE REMOVED
- 6

(E) DOOR TO BE REMOVED
- 7

(E) WINDOW TO BE REMOVED
- 8

(E) INTERIOR STAIR TO BE REMOVED
- 9

(E) EXTERIOR STAIR TO BE REPAIRED, NO EXPANSION OF STAIR FOOTPRINT
- 10

(E) WASHER/DRYER AND OTHER FIXTURES/EQUIPMENT TO BE REMOVED
- 11

(E) POSTS/DECK TO REMAIN
- 12

(E) WINDOW TO BE SALVAGED AND REINSTALLED

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

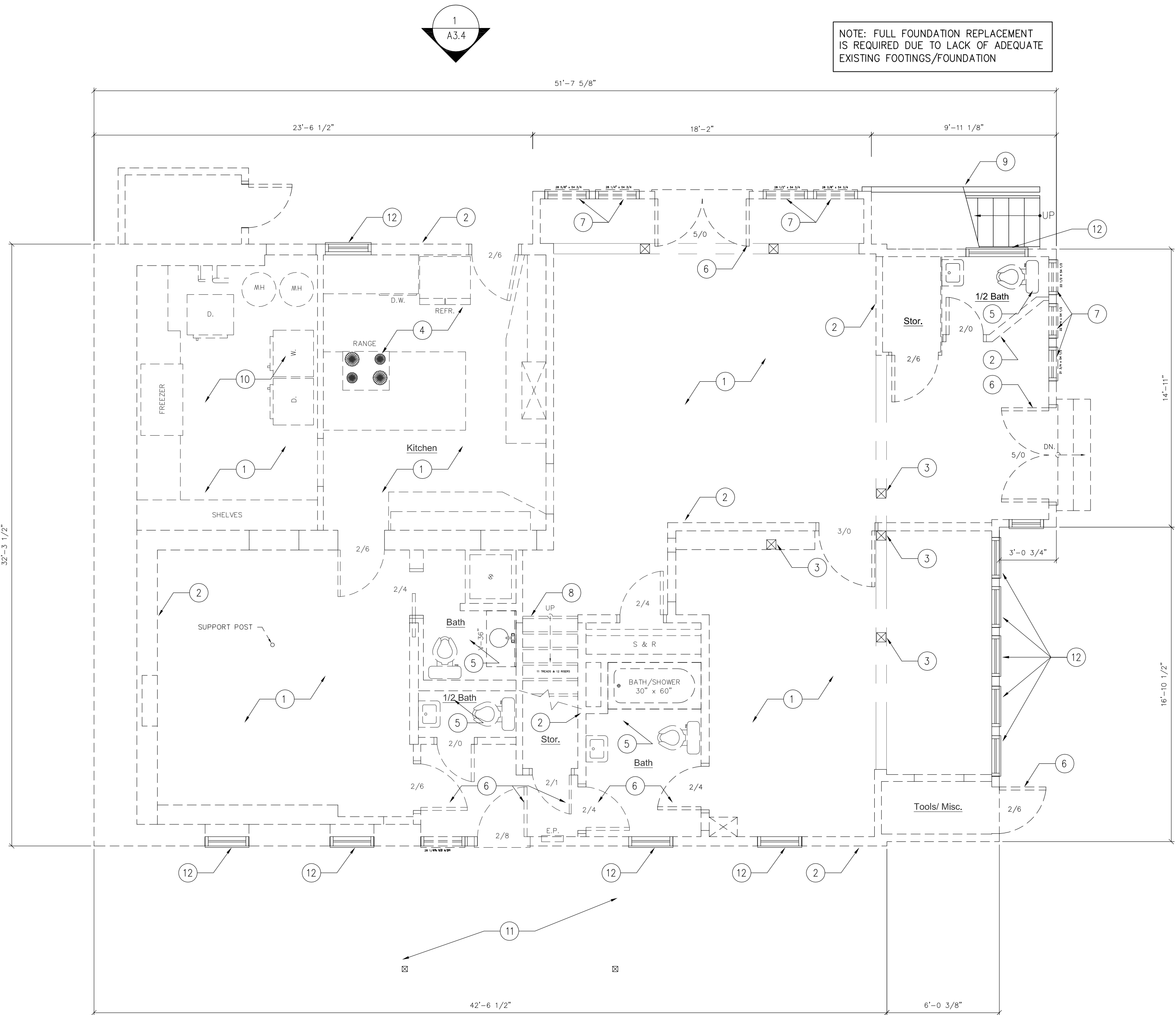
DBI STAMP:

SCALE:
1/4"=1'-0"

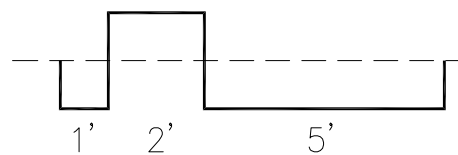
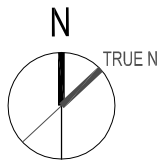
TITLE:
DEMO
FIRST FLOOR
PLAN

SHEET:

A1.1



PROJECT



GRAPHIC SCALE

GENERAL NOTES

1. -

DRAWING LEGEND

- (E)

DENOTES EXISTING FIXTURE TO REMAIN
- (X)

DENOTES EXISTING FIXTURE TO BE REMOVED
- EXISTING WALL
- WALL/ELEMENT TO BE REMOVED

KEYNOTES

- 1

(E) WALL TO BE REMOVED; PROVIDE TEMPORARY SUPPORT AS REQUIRED
- 2

(E) WOOD POST TO BE REMOVED; PROVIDE TEMPORARY SUPPORT AS REQUIRED
- 3

(E) KITCHEN TO BE REMOVED
- 4

(E) BATHROOM FIXTURES TO BE REMOVED
- 5

(E) DOOR TO BE REMOVED
- 6

(E) WINDOW TO BE REMOVED
- 7

(E) INTERIOR STAIR TO BE REMOVED
- 8

(E) EXTERIOR STAIR TO BE REPAIRED, NO CHANGE IN STAIR FOOTPRINT
- 9

(E) INTERIOR STAIR TO REMAIN
- 10

(E) EXTERIOR STAIR TO REMAIN
- 11

(E) POSTS/DECK TO REMAIN
- 12

(E) FIREPLACE TO BE REMOVED
- 13

(E) DECK/GUARDRAIL TO BE REPLACED IN KIND

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

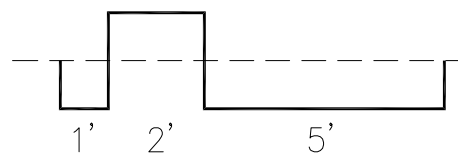
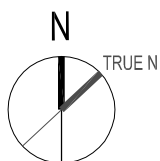
SCALE:
1/4"=1'-0"

TITLE:
DEMO
SECOND FLOOR PLAN

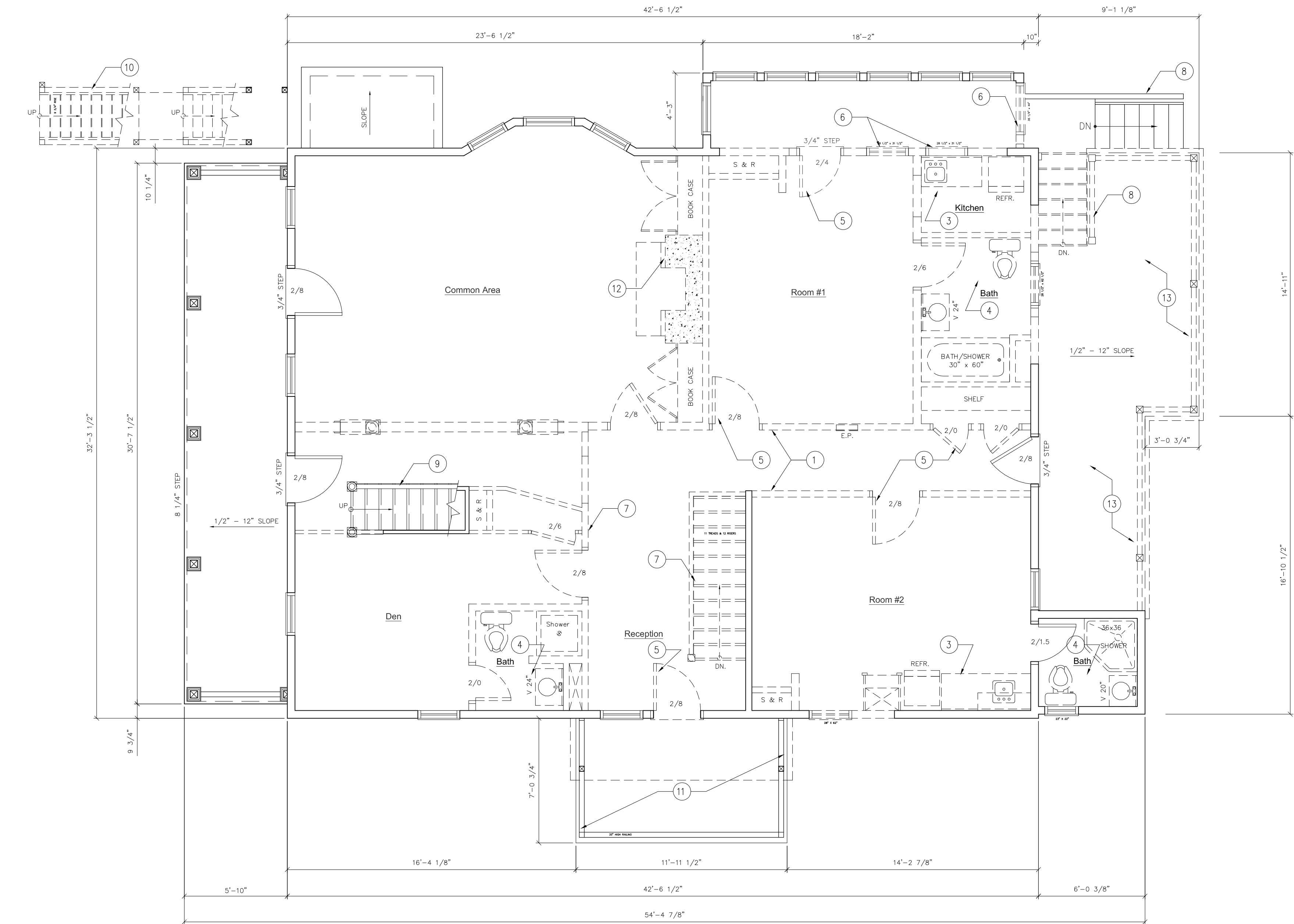
SHEET:

A1.2

PROJECT



GRAPHIC SCALE



1 DEMO
SECOND FLOOR PLAN / 1/4"=1'-0"

GENERAL NOTES

1. -

DRAWING LEGEND

- (E)

DENOTES EXISTING FIXTURE TO REMAIN
- (X)

DENOTES EXISTING FIXTURE TO BE REMOVED
- EXISTING WALL
- WALL/ELEMENT TO BE REMOVED

KEYNOTES

- 1

(E) WALL TO BE REMOVED; PROVIDE TEMPORARY SUPPORT AS REQUIRED
- 2

(E) SINK/CABINET TO BE REMOVED
- 3

(E) BATHROOM FIXTURES TO BE REMOVED
- 4

(E) DOOR TO BE REMOVED
- 5

(E) WINDOW TO BE REMOVED
- 6

(E) INTERIOR STAIR TO REMAIN
- 7

(E) EXTERIOR STAIR TO BE REMOVED AND REPLACED WITH FIXED LADDER
- 8

(E) ROOF OVER DECK BELOW TO REMAIN

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

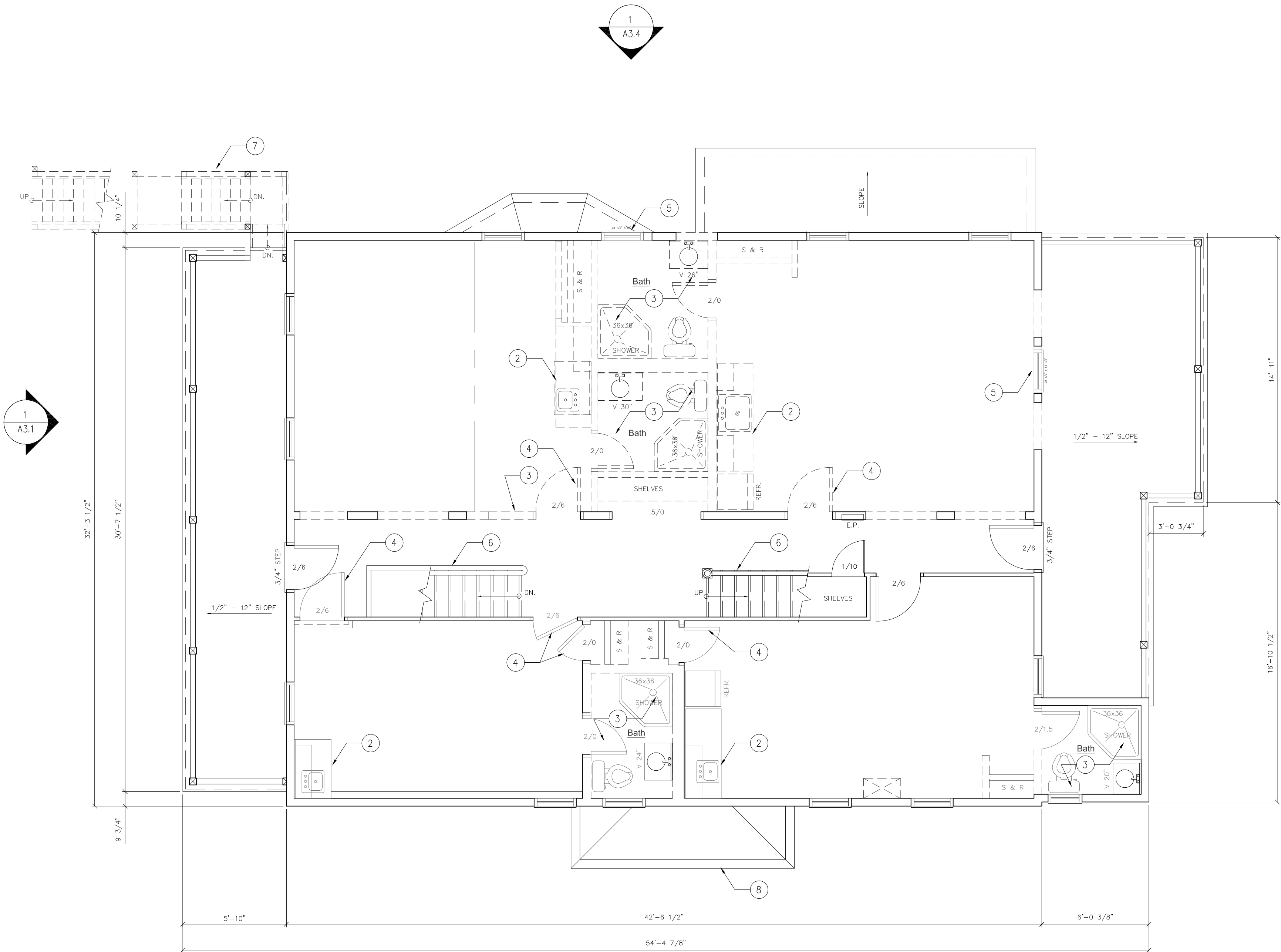
DBI STAMP:

SCALE:
1/4"=1'-0"

DEMO
THIRD FLOOR
PLAN

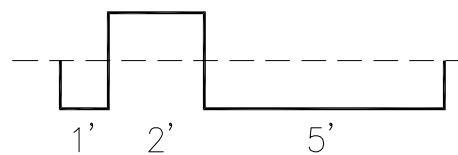
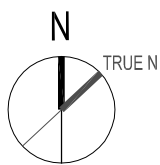
SHEET:

A1.3



1 DEMO
THIRD FLOOR PLAN / 1/4"=1'-0"

PROJECT



GRAPHIC SCALE

1. —

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: davidcumbby@gmail.com

Permit Set

ISSUE/DATE:

Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

SCALE:

$$1/4'' = 1' - 0''$$

TITLE:

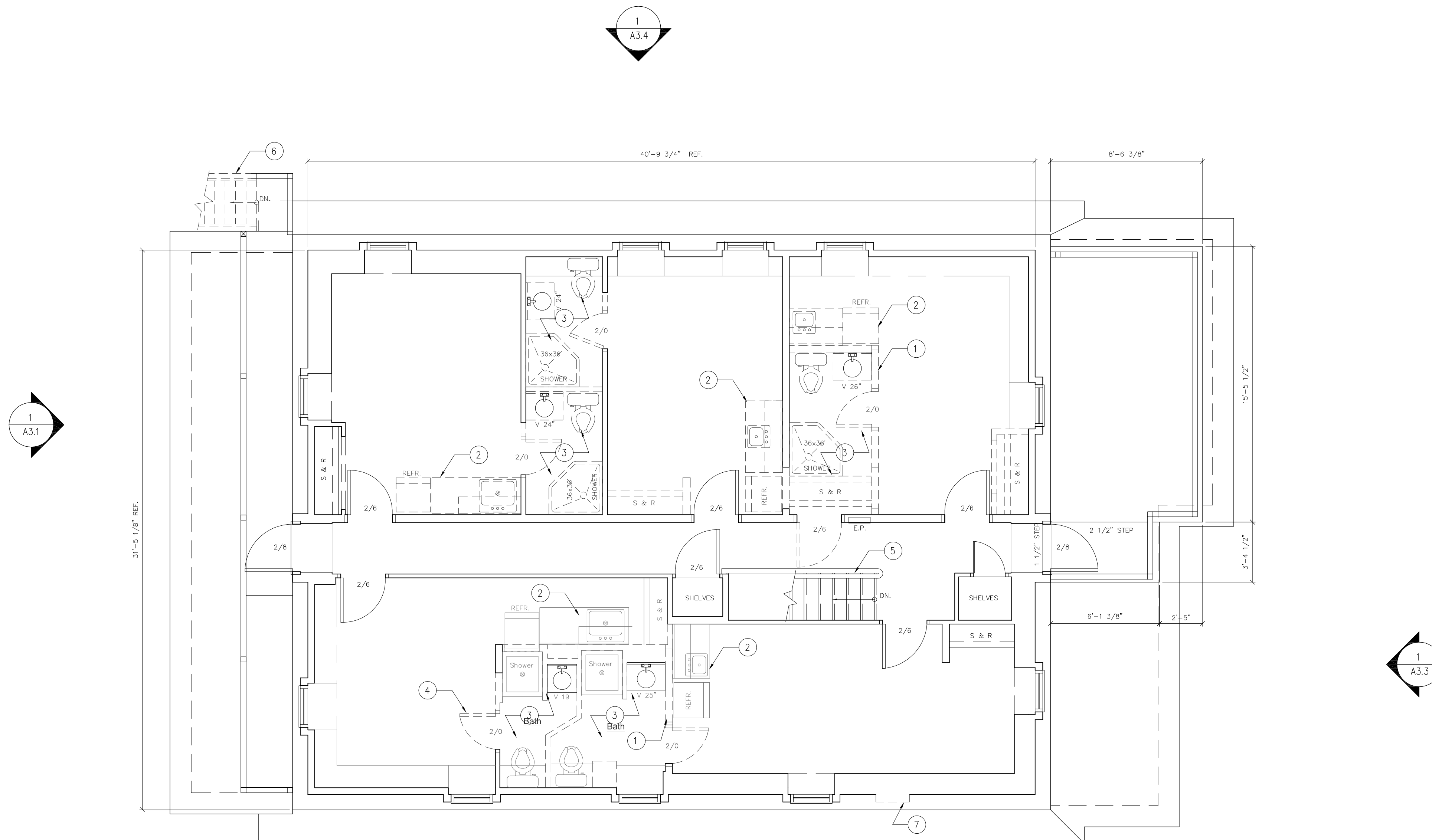
DEMO
FOURTH FLOOR
PLAN

SHEET:

(E) DENOTES EXISTING FIXTURE TO REMAIN EXISTING WALL

(X) DENOTES EXISTING FIXTURE TO BE REMOVED WALL/ELEMENT TO BE REMOVED

- ① (E) WALL TO BE REMOVED; PROVIDE TEMPORARY SUPPORT AS REQUIRED
- ② (E) SINK/CABINET TO BE REMOVED
- ③ (E) BATHROOM FIXTURES TO BE REMOVED
- ④ (E) DOOR TO BE REMOVED
- ⑤ (E) INTERIOR STAIR TO REMAIN
- ⑥ (E) EXTERIOR STAIR TO BE REMOVED AND REPLACED WITH FIXED LADDER
- ⑦ (E) BRICK CHIMNEY TO BE REMOVED



A1.4

1 DEMO
FOURTH FLOOR PLAN / 1/4"=1'-0"

GENERAL NOTES

1. -

DRAWING LEGEND

(E)	DENOTES EXISTING FIXTURE TO REMAIN		NEW WALL
(X)	DENOTES EXISTING FIXTURE TO BE REMOVED		NEW 1-HOUR RATED WALL; 2x4 WOOD STUD FRAMING AT 16" O.C., 5/8" TYPE X GYPSUM BOARD, EACH SIDE, PAINTED, PER UL 305
101	DENOTES DOOR NUMBER		
	DENOTES WINDOW TYPE		
	DENOTES WALL TYPE DESIGNATION		FLOOR MOUNTED OUTLET
	DENOTES FIRE RATING		DUPLEX OUTLET
	DENOTES ROOM NAME		DOUBLE DUPLEX OUTLET
	DENOTES ROOM NUMBER		GROUND FAULT INTERRUPTER
	DENOTES ROOM LABEL AND NUMBER		

KEYNOTES

- (N) WALL
- (N) WINDOW
- (N) DOOR
- (N) KITCHEN BASE CABINET WITH COUNTERTOP 36" AFF
- (N) KITCHEN ISLAND WITH COUNTERTOP 36" AFF
- (N) SINK
- (N) DISHWASHER
- (N) STOVE
- (N) REFRIGERATOR
- (N) VANITY
- (N) TOILET
- (N) SHOWER
- (N) WASHER/DRYER
- (N) BUILT IN COUNTER/CABINET
- (E) WOOD STAIR AND GUARDRAIL, REPAIR AS REQUIRED, NO CHANGE IN STAIR FOOTPRINT
- (N) 1-1/2" O.D. WOOD HANDRAIL, 1-1/2" CLR BTWN RAIL AND WALL
- (N) GAS BOILER, VENT TO EXTERIOR MINIMUM 3 FEET FROM PROPERTY LINE
- (N) FIRE SPRINKLER SERVICE VALVE AND METER LOCATION
- SALVAGED (E) WINDOW REINSTALLED IN SAME LOCATION

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

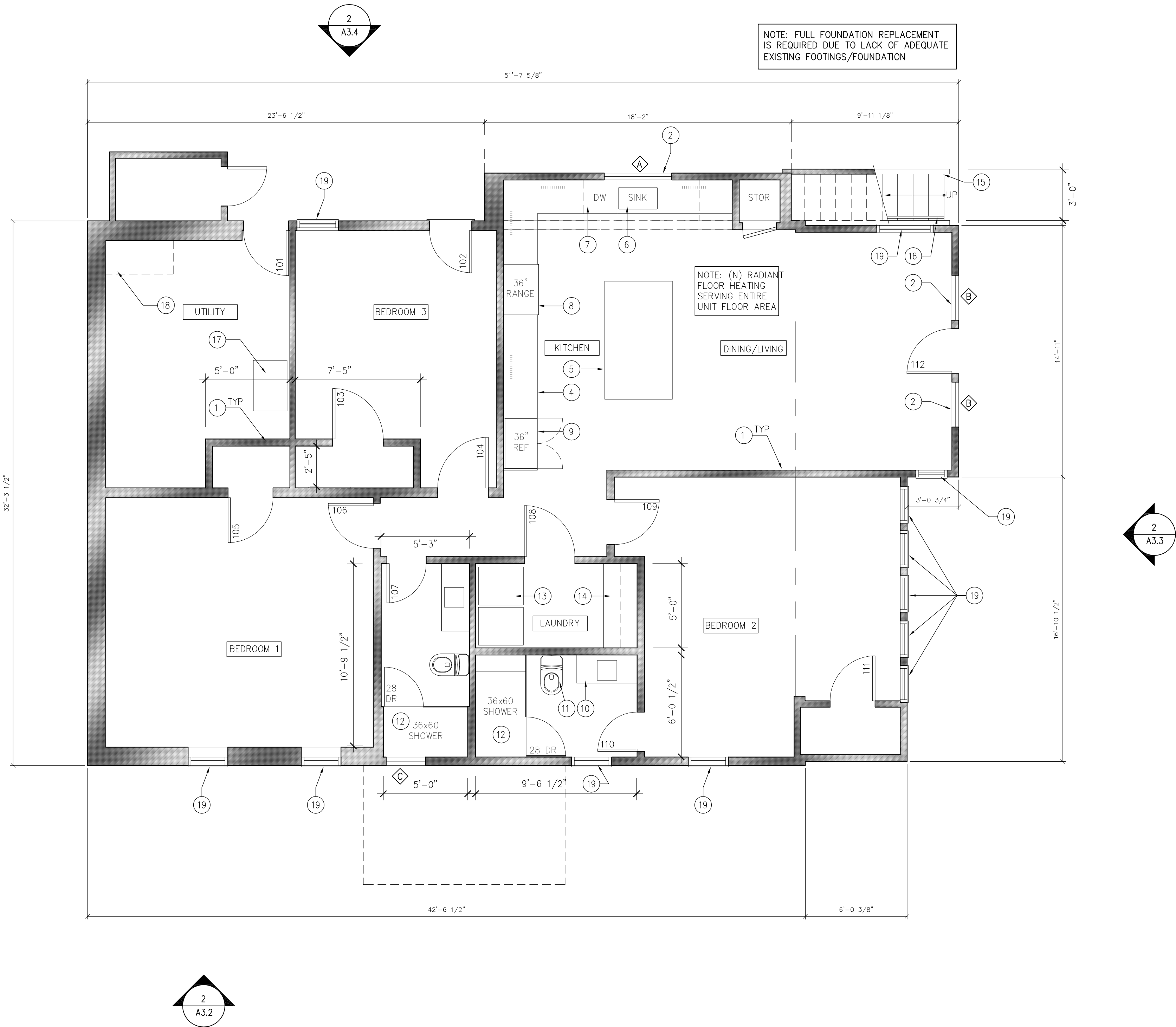
DBI STAMP:

SCALE:
1/4"=1'-0"

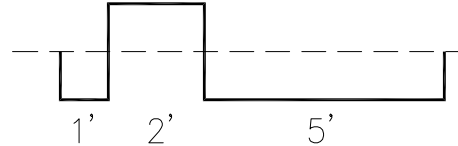
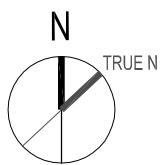
TITLE:
PROPOSED
FIRST FLOOR
PLAN

SHEET:

A2.1



PROJECT



GRAPHIC SCALE

GENERAL NOTES

1. -

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

DRAWING LEGEND

(E)	DENOTES EXISTING FIXTURE TO REMAIN		NEW WALL
(X)	DENOTES EXISTING FIXTURE TO BE REMOVED		NEW 1-HOUR RATED WALL; 2x4 WOOD STUD FRAMING AT 16" O.C., 5/8" TYPE X GYPSUM BOARD, EACH SIDE, PAINTED, PER UL 305
101	DENOTES DOOR NUMBER		
	DENOTES WINDOW TYPE		
	WALL TYPE		FLOOR MOUNTED OUTLET
	DENOTES FIRE RATING		DUPLEX OUTLET
	DENOTES ROOM NAME		DOUBLE DUPLEX OUTLET
	ROOM LABEL AND NUMBER		GROUND FAULT INTERRUPTER

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

KEYNOTES

- (N) WALL
- (N) WINDOW
- (N) DOOR
- (N) KITCHEN BASE CABINET WITH COUNTERTOP 36" AFF
- (N) KITCHEN ISLAND WITH COUNTERTOP 36" AFF
- (N) SINK
- (N) DISHWASHER
- (N) 36" RANGE, SMEG PROFESSIONAL FREESTANDING INDUCTION RANGE
- (N) 36" REFRIGERATOR, SAMSUNG BESPOKE RF30BB6200QL
- (N) VANITY
- (N) TOILET
- (N) SHOWER
- (N) FIREPLACE
- (E) WOOD STAIR AND GUARDRAIL, REPAIR AS REQUIRED, NO CHANGE IN STAIR FOOTPRINT
- (N) 1-1/2" O.D. WOOD HANDRAIL, 1-1/2" CLR BTWN RAIL AND WALL
- (N) POST, ALIGN WITH WALL BELOW
- DECK AND GUARDRAIL REPLACED IN KIND
- (N) FIXED STEEL LADDER, 20" WIDE, 195" LONG, RUNGS AT 12" O.C.; 4x SOLID WOOD BLOCKING AT LADDER ANCHOR LOCATIONS

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

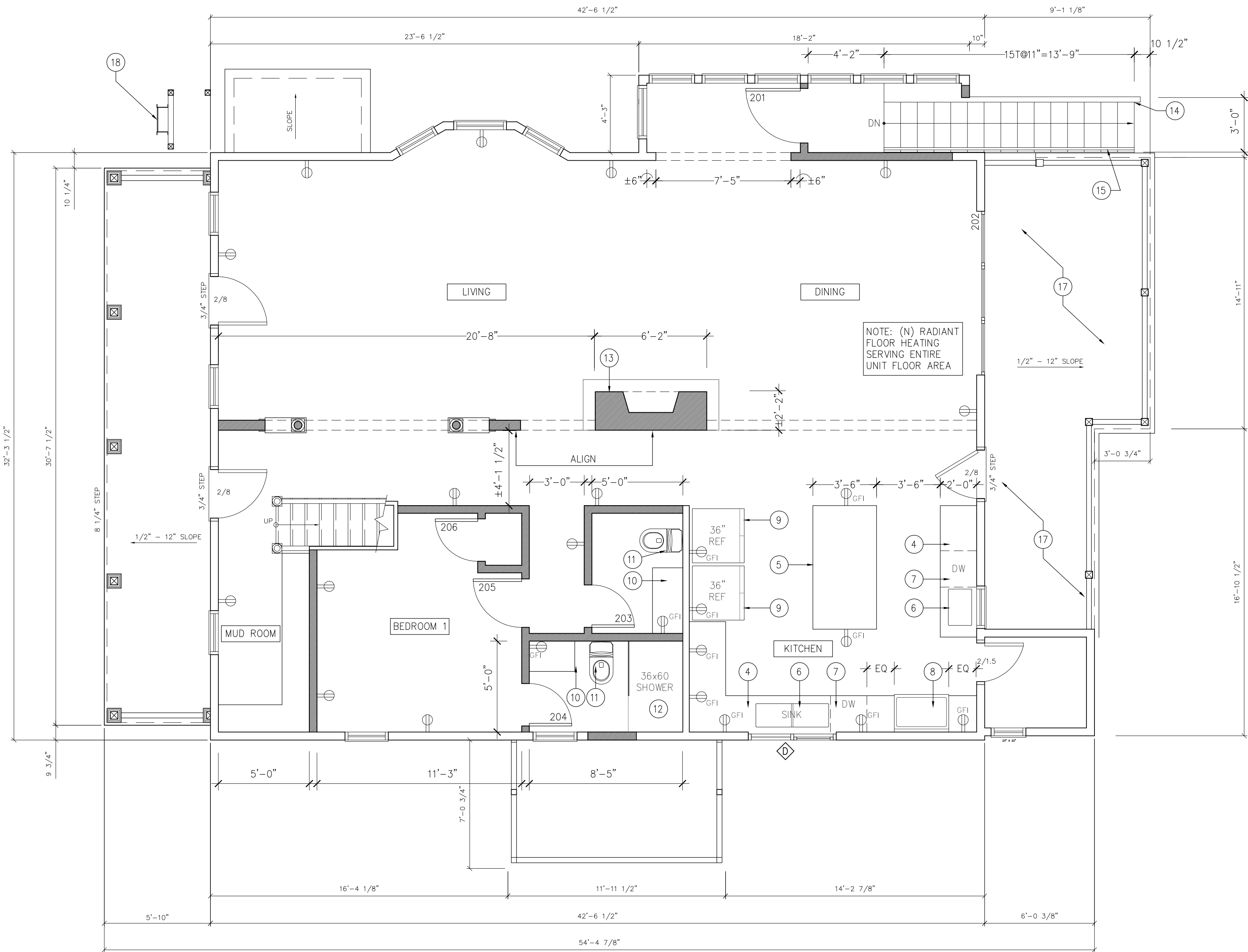
DBI STAMP:

SCALE:
1/4"=1'-0"

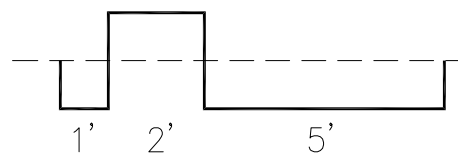
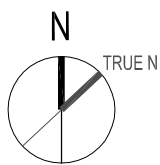
TITLE:
PROPOSED
SECOND FLOOR
PLAN

SHEET:

A2.2



PROJECT



GRAPHIC SCALE

1. —

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: davidcumby@gmail.com

(E)	101		NEW WALL NEW 1-HOUR RATED WALL; 2x4 WOOD STUD FRAMING AT 16" O.C., 5/8" TYPE X GYPSUM BOARD, EACH SIDE, PAINTED, PER UL 305
DENOTES WALL TYPE DESIGNATION 			FLOOR MOUNTED OUTLET
DENOTES FIRE RATING 			DUPLEX OUTLET
DENOTES ROOM NAME 			DOUBLE DUPLEX OUTLET
STORAGE 103 			ROOM LABEL AND NUMBER
DENOTES ROOM NUMBER 			GROUND FAULT INTERRUPTER

Permit Set

ISSUE/DATE:

Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

SCALE:

$$/4''=1'-0''$$

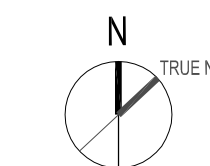
TITLE:

PROPOSED THIRD FLOOR PLAN

SHEET:

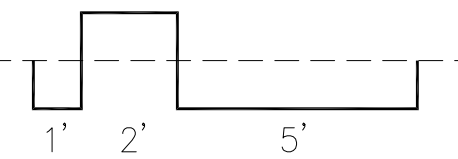
A2.3

PROJECT



GRAPHIC SCALE

1' 2' 5'

[illegible]

1 PROPOSED
THIRD FLOOR PLAN / 1/4"=1'-0"

1

GENERAL NOTES

1. -

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: davidcumby@gmail.com

DRAWING LEGEND

(E)	DENOTES EXISTING FIXTURE TO REMAIN		NEW WALL
(X)	DENOTES EXISTING FIXTURE TO BE REMOVED		NEW 1-HOUR RATED WALL; 2x4 WOOD STUD FRAMING AT 16" O.C., 5/8" TYPE X GYPSUM BOARD, EACH SIDE, PAINTED, PER UL 305
101	DENOTES DOOR NUMBER		
	DENOTES WINDOW TYPE		
	DENOTES WALL TYPE DESIGNATION		FLOOR MOUNTED OUTLET
	DENOTES FIRE RATING		DUPLEX OUTLET
	DENOTES ROOM NAME		DOUBLE DUPLEX OUTLET
	DENOTES ROOM NUMBER		GROUND FAULT INTERRUPTER
	DENOTES ROOM NUMBER		ROOM LABEL AND NUMBER

KEYNOTES

- 1 (N) WALL
- 2 (N) DOOR
- 3 (N) VANITY
- 4 (N) TOILET
- 5 (N) SHOWER
- 6 (N) INFILL ROOF AT AREA WHERE BRICK CHIMNEY IS REMOVED; ROOFING MATERIAL AND FINISH TO MATCH (E) ADJACENT ROOF
- 7 (N) FIXED STEEL LADDER, 20" WIDE, 195" LONG, RUNGS AT 12" O.C.; 4x SOLID WOOD BLOCKING AT LADDER ANCHOR LOCATIONS. SAFETY CAGE AT TOP OF LADDER.

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

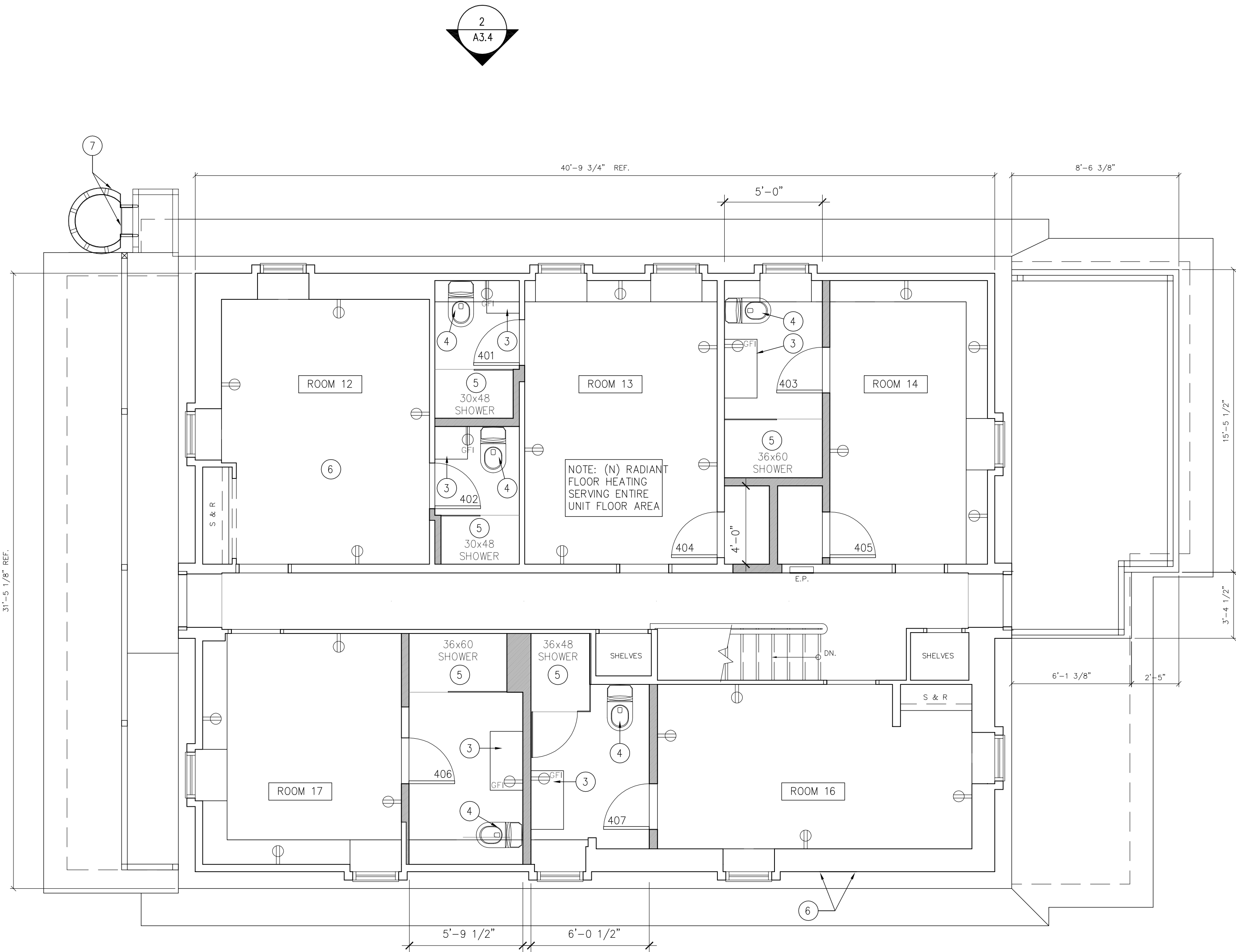
DBI STAMP:

SCALE:
1/4"=1'-0"

TITLE:
PROPOSED
FOURTH FLOOR
PLAN

SHEET:

A2.4



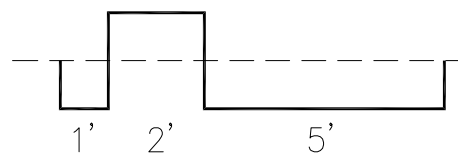
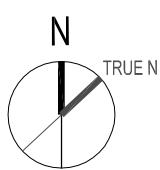
2
A3.1

2
A3.3

2
A3.2

1
PROPOSED
FOURTH FLOOR PLAN / 1/4"=1'-0"

PROJECT



GRAPHIC SCALE



2 PROPOSED WEST ELEVATION / 1/4"=1'-0"



1 EXISTING WEST ELEVATION / 1/4"=1'-0"

GENERAL NOTES

1. NO CHANGES TO THIS ELEVATION UNDER THIS APPLICATION

DRAWING LEGEND

- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- ◊ DENOTES WINDOW TYPE

KEYNOTES

- ① (E) DECK AND ROOF OVER DECK TO REMAIN
- ② (E) STAIR TO REMOVED AND REPLACED WITH FIXED LADDER
- ③ (E) PORCH TO REMAIN
- ④ (N) FIXED STEEL LADDER, 20" WIDE, 195" LONG, RUNGS AT 12" O.C.; 4x SOLID WOOD BLOCKING AT LADDER ANCHOR LOCATIONS. SAFETY CAGE AT TOP OF LADDER.

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

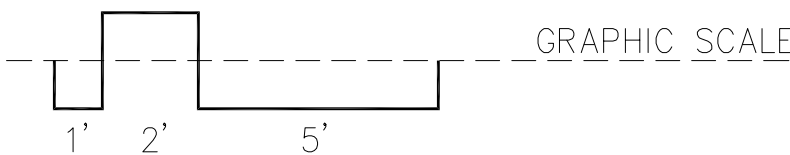
ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

SCALE: 1/4"=1'-0"

TITLE:
EXISTING AND PROPOSED WEST ELEVATIONS

SHEET:



A3.1

GENERAL NOTES

1. SEE FLOOR PLANS FOR MORE DEMO INFORMATION

DRAWING LEGEND

- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- ◊ DENOTES WINDOW TYPE

KEYNOTES

- ① (E) DECK AND ROOF OVER DECK TO REMAIN
- ② (E) STAIR TO REMAIN
- ③ (E) PORCH TO REMAIN
- ④ (E) BRICK CHIMNEY TO BE REMOVED
- ⑤ (N) WINDOW
- ⑥ (N) INFILL ROOF AT AREA WHERE BRICK CHIMNEY IS REMOVED; ROOFING MATERIAL AND FINISH TO MATCH (E) ADJACENT ROOF
- ⑦ (N) FIXED STEEL LADDER, 20" WIDE, 195" LONG, RUNGS AT 12" O.C.; 4x SOLID WOOD BLOCKING AT LADDER ANCHOR LOCATIONS. SAFETY CAGE AT TOP OF LADDER.

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

SCALE:
1/4"=1'-0"

EXISTING AND
PROPOSED SOUTH
ELEVATIONS

SHEET:

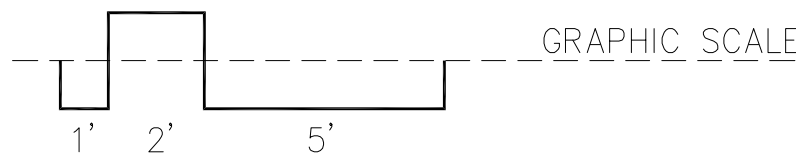
A3.2



2 PROPOSED
SOUTH ELEVATION / 1/4"=1'-0"



1 EXISTING
SOUTH ELEVATION / 1/4"=1'-0"



GENERAL NOTES

1. SEE FLOOR PLANS FOR MORE DEMO INFORMATION

DRAWING LEGEND

- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- ◊ DENOTES WINDOW TYPE

KEYNOTES

- 1 (E) DECK AND ROOF OVER DECK TO REMAIN
- 2 (E) STAIR TO BE REMOVED AND REPLACED WITH FIXED LADDER
- 3 (E) PORCH TO REMAIN
- 4 (E) STAIR AND GUARDRAIL TO BE REPAIRED, NO CHANGE IN STAIR FOOTPRINT
- 5 (N) DOOR
- 6 (N) WINDOW
- 7 (N) THREE PANEL FOLDING GLAZED DOOR
- 8 (N) FIXED STEEL LADDER, 20" WIDE, 195" LONG, RUNGS AT 12" O.C.; 4x SOLID WOOD BLOCKING AT LADDER ANCHOR LOCATIONS

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

SCALE: 1/4"=1'-0"

TITLE:
EXISTING AND PROPOSED EAST ELEVATIONS

SHEET:

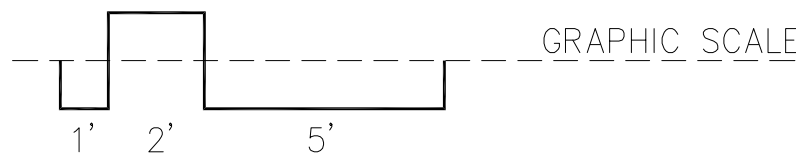
A3.3



2 PROPOSED EAST ELEVATION / 1/4"=1'-0"



1 EXISTING EAST ELEVATION / 1/4"=1'-0"



GENERAL NOTES

1. SEE FLOOR PLANS FOR MORE DEMO INFORMATION

DRAWING LEGEND

- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- ◊ DENOTES WINDOW TYPE

KEYNOTES

- ① (E) STAIR TO REMAIN
- ② (E) PORCH TO REMAIN
- ③ (E) STAIR AND GUARDRAIL TO BE REPAIRED, NO CHANGE IN STAIR FOOTPRINT
- ④ (E) WINDOWS/DOORS TO BE REMOVED
- ⑤ (N) DOOR
- ⑥ (N) WINDOW
- ⑦ (E) WINDOW LOWERED TO ALIGN WITH TOP OF NEW DOOR
- ⑧ (N) FIXED STEEL LADDER, 20" WIDE, 195" LONG, RUNGS AT 12" O.C.; 4x SOLID WOOD BLOCKING AT LADDER ANCHOR LOCATIONS. SAFETY CAGE AT TOP OF LADDER.

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

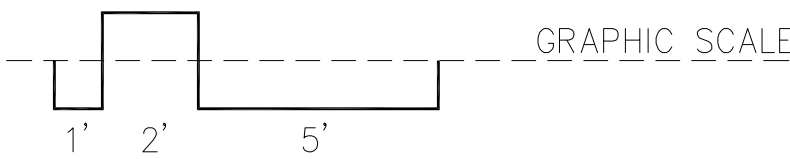
DBI STAMP:

SCALE:
1/4"=1'-0"

TITLE:
EXISTING AND PROPOSED NORTH ELEVATIONS

SHEET:

A3.4



2 PROPOSED
NORTH ELEVATION / 1/4"=1'-0"



1 EXISTING
NORTH ELEVATION / 1/4"=1'-0"

GENERAL NOTES:

- 1. ALL ELECTRICAL OUTLETS SHALL BE TAMPER RESISTANT
- 2. MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS
- 3. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING
- 4. CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES DIAMETER, TERMINATE TO THE OUTSIDE OF THE BUILDING, AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER
- 5. PROVIDE MINIMUM 100 SQ INCH MAKE-UP AIR OPENING FOR DOMESTIC DRYERS

KEYNOTES:

- ① (E) CEILING TO REMAIN; PATCH, REPAIR AND PAINT AS REQUIRED
- ② (N) CEILING FINISH; 5/8" GYPSUM BOARD, PAINTED

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

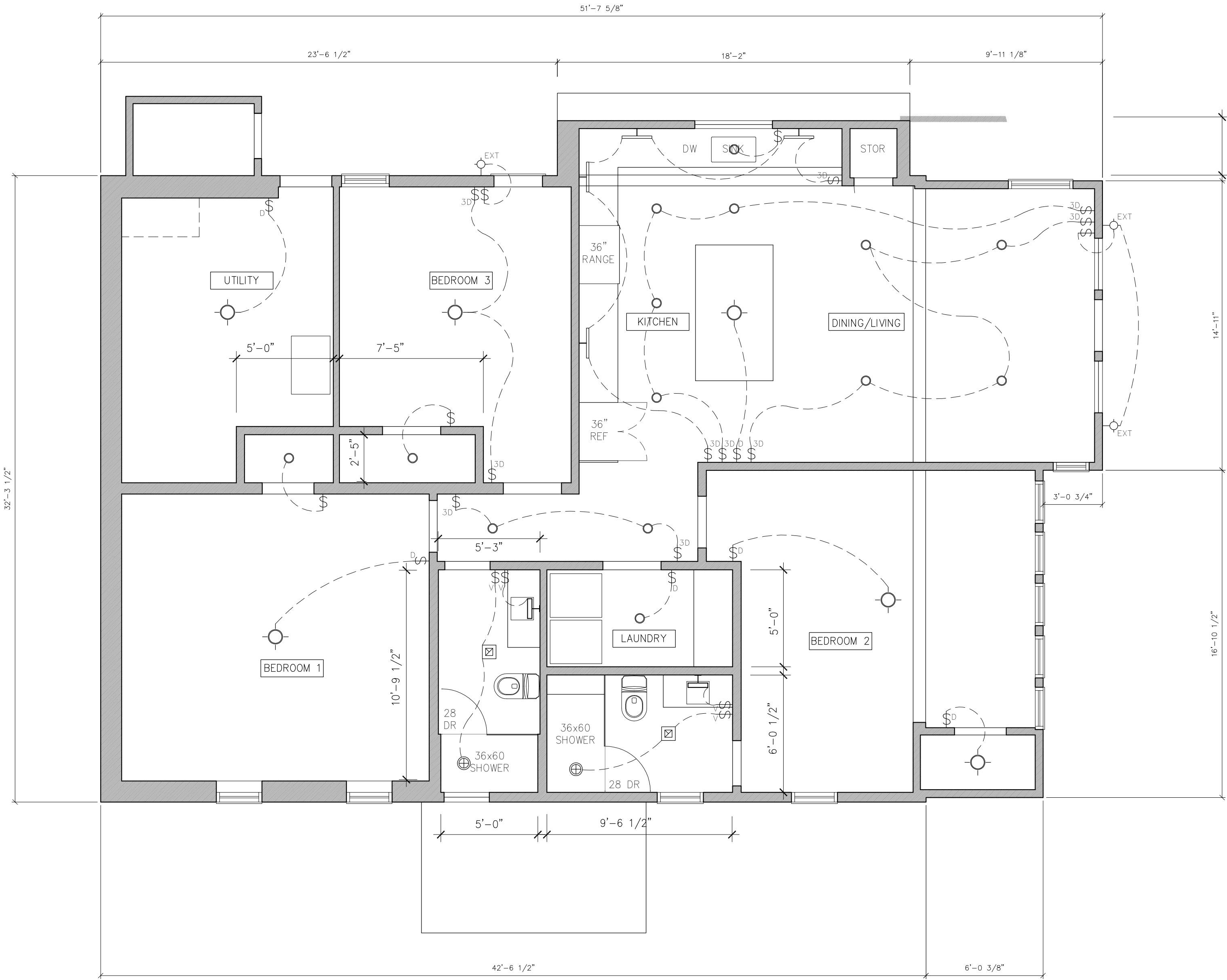
ISSUE/DATE:

Permit Set 9-12-2022
Architectural Review Board 11-28-2023

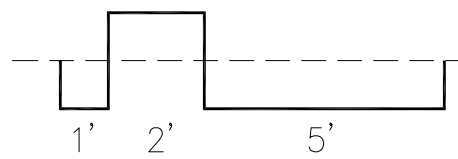
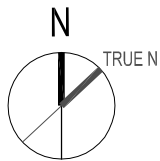
DBI STAMP:

DRAWING LEGEND:

EXT	EXTERIOR RATED FIXTURE	
⌘	SWITCH	○ RECESSED LIGHT
⌘3	3 WAY SWITCH	⊕ PENDANT LIGHT
⌘5	DIMMER SWITCH	⊙ SURFACE MOUNTED LIGHT
⌘4	VACANCY SENSOR	⊖ RECESSED WALL WASHER
⌘38	3 WAY DIMMER SWITCH	⌚ WALL MOUNTED VANITY LIGHT
⌘45	4 WAY DIMMER SWITCH	◇ WALL SCONCE ON ADJUSTABLE ARM
△	DATA/TV	⌚ INTERIOR STEP LIGHT
☒	VENT FAN, VENT TO EXTERIOR MIN. 3 FEET FROM ANY PROPERTY LINE	● EXTERIOR UPLIGHT
☑	VENT/LIGHT COMBO, VENT TO EXTERIOR MIN. 3 FEET FROM ANY PROPERTY LINE	⌚ EXTERIOR STEP LIGHT
☐	CARBON MONOXIDE DETECTOR	⌚ WALL MOUNTED EXTERIOR LIGHT
Ⓢ	SMOKE DETECTOR	⌚ UNDER CABINET LED LIGHT
		Ⓢ SURFACE MOUNTED ELECTRICAL OUTLET



PROJECT



GRAPHIC SCALE

SCALE:

1/4"=1'-0"

TITLE:

PROPOSED
FIRST FLOOR
RCP

SHEET:

A6.1

GENERAL NOTES:

- 1. ALL ELECTRICAL OUTLETS SHALL BE TAMPER RESISTANT
- 2. MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS
- 3. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING
- 4. CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES DIAMETER, TERMINATE TO THE OUTSIDE OF THE BUILDING, AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER
- 5. PROVIDE MINIMUM 100 SQ INCH MAKE-UP AIR OPENING FOR DOMESTIC DRYERS

KEYNOTES:

- ① (E) CEILING TO REMAIN; PATCH, REPAIR AND PAINT AS REQUIRED
- ② (N) CEILING FINISH; 5/8" GYPSUM BOARD, PAINTED

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

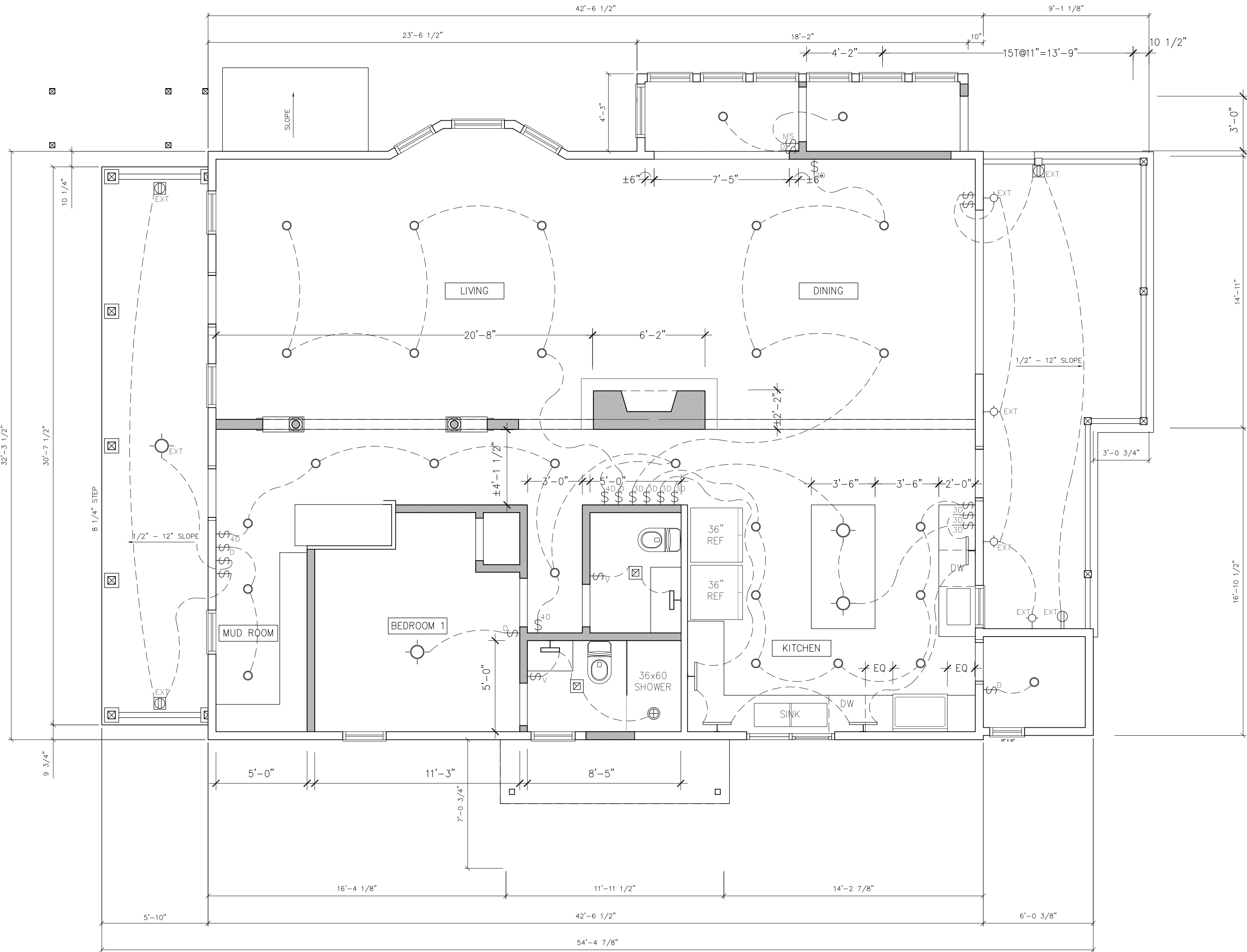
ISSUE/DATE:

Permit Set 9-12-2022
Architectural Review Board 11-28-2023

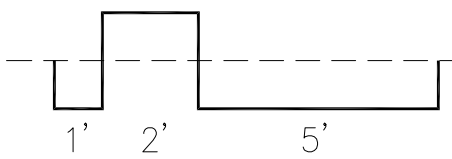
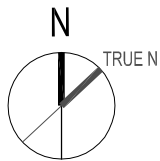
DBI STAMP:

DRAWING LEGEND:

EXT	EXTERIOR RATED FIXTURE	
⌘	SWITCH	○ RECESSED LIGHT
⌘3	3 WAY SWITCH	⊕ PENDANT LIGHT
⌘B	DIMMER SWITCH	⊙ SURFACE MOUNTED LIGHT
⌘v	VACANCY SENSOR	⊖ RECESSED WALL WASHER
⌘3B	3 WAY DIMMER SWITCH	⌚ WALL MOUNTED VANITY LIGHT
⌘4B	4 WAY DIMMER SWITCH	◇ WALL SCONCE ON ADJUSTABLE ARM
△	DATA/TV	⌚ INTERIOR STEP LIGHT
⊠	VENT FAN, VENT TO EXTERIOR MIN. 3 FEET FROM ANY PROPERTY LINE	⊙ EXTERIOR UPLIGHT
⊠	VENT/LIGHT COMBO, VENT TO EXTERIOR MIN. 3 FEET FROM ANY PROPERTY LINE	⌚ EXTERIOR STEP LIGHT
⊠	CARBON MONOXIDE DETECTOR	⊕ WALL MOUNTED EXTERIOR LIGHT
⊠	SMOKE DETECTOR	⌚ UNDER CABINET LED LIGHT
		⊠ SURFACE MOUNTED ELECTRICAL OUTLET



PROJECT



GRAPHIC SCALE

SCALE:

1/4"=1'-0"

TITLE:

PROPOSED SECOND FLOOR
RCP

SHEET:

A6.2

GENERAL NOTES:

1. ALL ELECTRICAL OUTLETS SHALL BE TAMPER RESISTANT
2. MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS
3. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING
4. CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES DIAMETER, TERMINATE TO THE OUTSIDE OF THE BUILDING, AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER
5. PROVIDE MINIMUM 100 SQ INCH MAKE-UP AIR OPENING FOR DOMESTIC DRYERS

KEYNOTES:

- ① (E) CEILING TO REMAIN; PATCH, REPAIR AND PAINT AS REQUIRED
- ② (N) CEILING FINISH; 5/8" GYPSUM BOARD, PAINTED

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

DRAWING LEGEND:

EXT	EXTERIOR RATED FIXTURE	
⌘	SWITCH	○ RECESSED LIGHT
⌘3	3 WAY SWITCH	⊕ PENDANT LIGHT
⌘5	DIMMER SWITCH	⊙ SURFACE MOUNTED LIGHT
⌘v	VACANCY SENSOR	⊖ RECESSED WALL WASHER
⌘35	3 WAY DIMMER SWITCH	⌚ WALL MOUNTED VANITY LIGHT
⌘45	4 WAY DIMMER SWITCH	◇ WALL SCONCE ON ADJUSTABLE ARM
△	DATA/TV	⌚ INTERIOR STEP LIGHT
⊠	VENT FAN, VENT TO EXTERIOR MIN. 3 FEET FROM ANY PROPERTY LINE	⊙ EXTERIOR UPLIGHT
⊠	VENT/LIGHT COMBO, VENT TO EXTERIOR MIN. 3 FEET FROM ANY PROPERTY LINE	⌚ EXTERIOR STEP LIGHT
⊠	CARBON MONOXIDE DETECTOR	⊕ WALL MOUNTED EXTERIOR LIGHT
⊠	SMOKE DETECTOR	⌚ UNDER CABINET LED LIGHT
		⊕ SURFACE MOUNTED ELECTRICAL OUTLET

ISSUE/DATE:

Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

SCALE:

1/4"=1'-0"

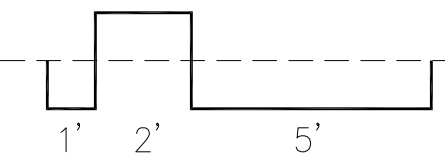
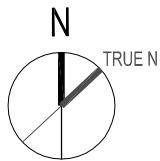
TITLE:

PROPOSED
THIRD FLOOR
RCP

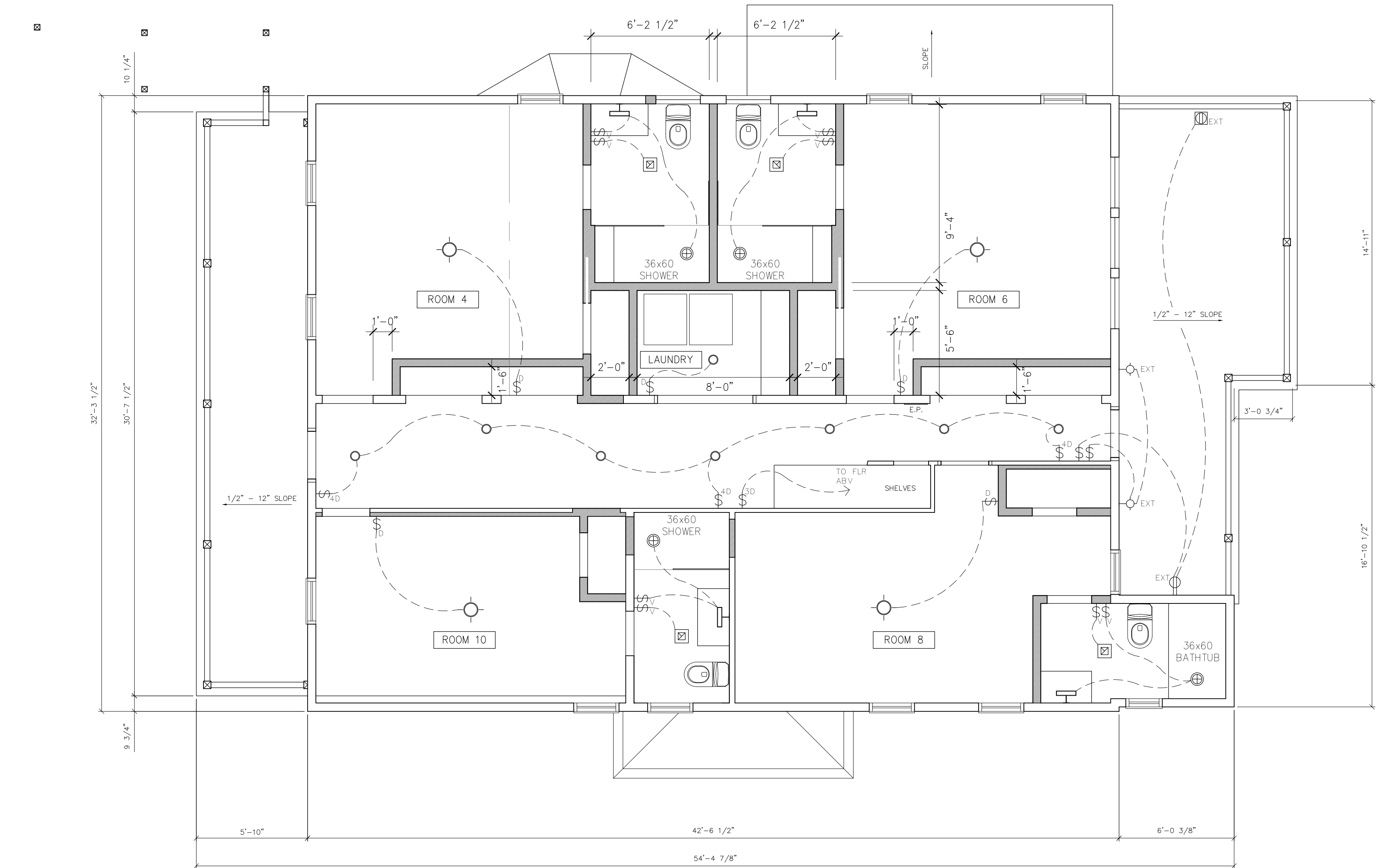
SHEET:

A6.3

PROJECT



GRAPHIC SCALE



1 PROPOSED
THIRD FLOOR REFLECTED CEILING PLAN / 1/4"=1'-0"

GENERAL NOTES:

1. ALL ELECTRICAL OUTLETS SHALL BE TAMPER RESISTANT
2. MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS
3. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING
4. CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES DIAMETER, TERMINATE TO THE OUTSIDE OF THE BUILDING, AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER
5. PROVIDE MINIMUM 100 SQ INCH MAKE-UP AIR OPENING FOR DOMESTIC DRYERS

KEYNOTES:

- ① (E) CEILING TO REMAIN; PATCH, REPAIR AND PAINT AS REQUIRED
- ② (N) CEILING FINISH; 5/8" GYPSUM BOARD, PAINTED

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

DRAWING LEGEND:

EXT	EXTERIOR RATED FIXTURE	
⌘	SWITCH	○ RECESSED LIGHT
⌘3	3 WAY SWITCH	⊕ PENDANT LIGHT
⌘5	DIMMER SWITCH	⊙ SURFACE MOUNTED LIGHT
⌘4	VACANCY SENSOR	⊖ RECESSED WALL WASHER
⌘35	3 WAY DIMMER SWITCH	⌚ WALL MOUNTED VANITY LIGHT
⌘45	4 WAY DIMMER SWITCH	⌚ WALL SCONCE ON ADJUSTABLE ARM
⚡	DATA/TV	⌚ INTERIOR STEP LIGHT
⊠	VENT FAN, VENT TO EXTERIOR MIN. 3 FEET FROM ANY PROPERTY LINE	⊙ EXTERIOR UPLIGHT
⊠	VENT/LIGHT COMBO, VENT TO EXTERIOR MIN. 3 FEET FROM ANY PROPERTY LINE	⌚ EXTERIOR STEP LIGHT
⊠	CARBON MONOXIDE DETECTOR	⊙ WALL MOUNTED EXTERIOR LIGHT
⊠	SMOKE DETECTOR	⌚ UNDER CABINET LED LIGHT
		⊙ SURFACE MOUNTED ELECTRICAL OUTLET

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

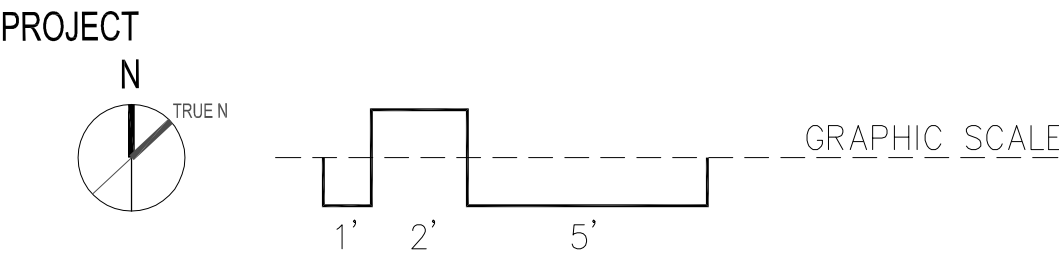
DBI STAMP:

SCALE:
1/4"=1'-0"

TITLE:
PROPOSED
FOURTH FLOOR
RCP

SHEET:

A6.4



PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

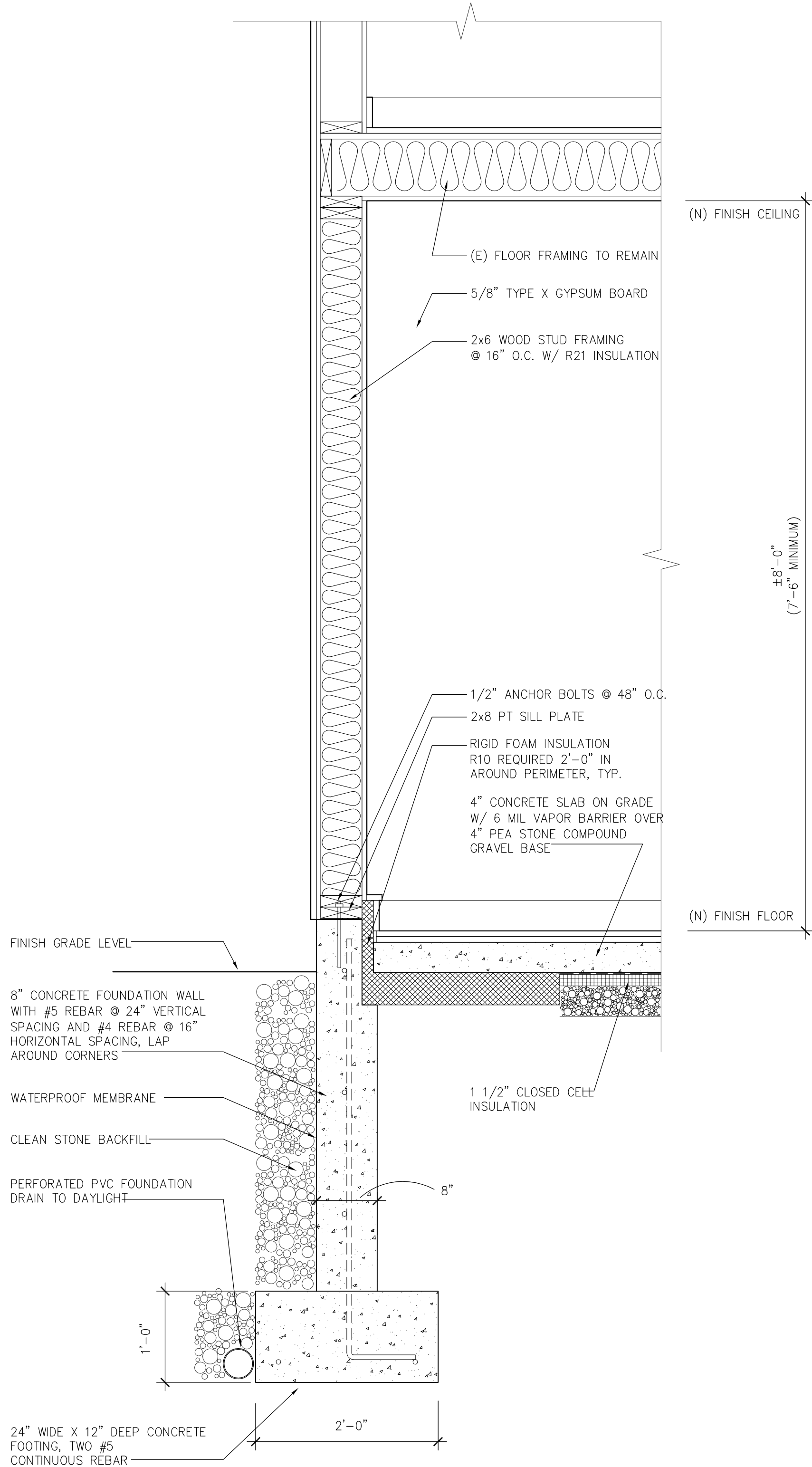
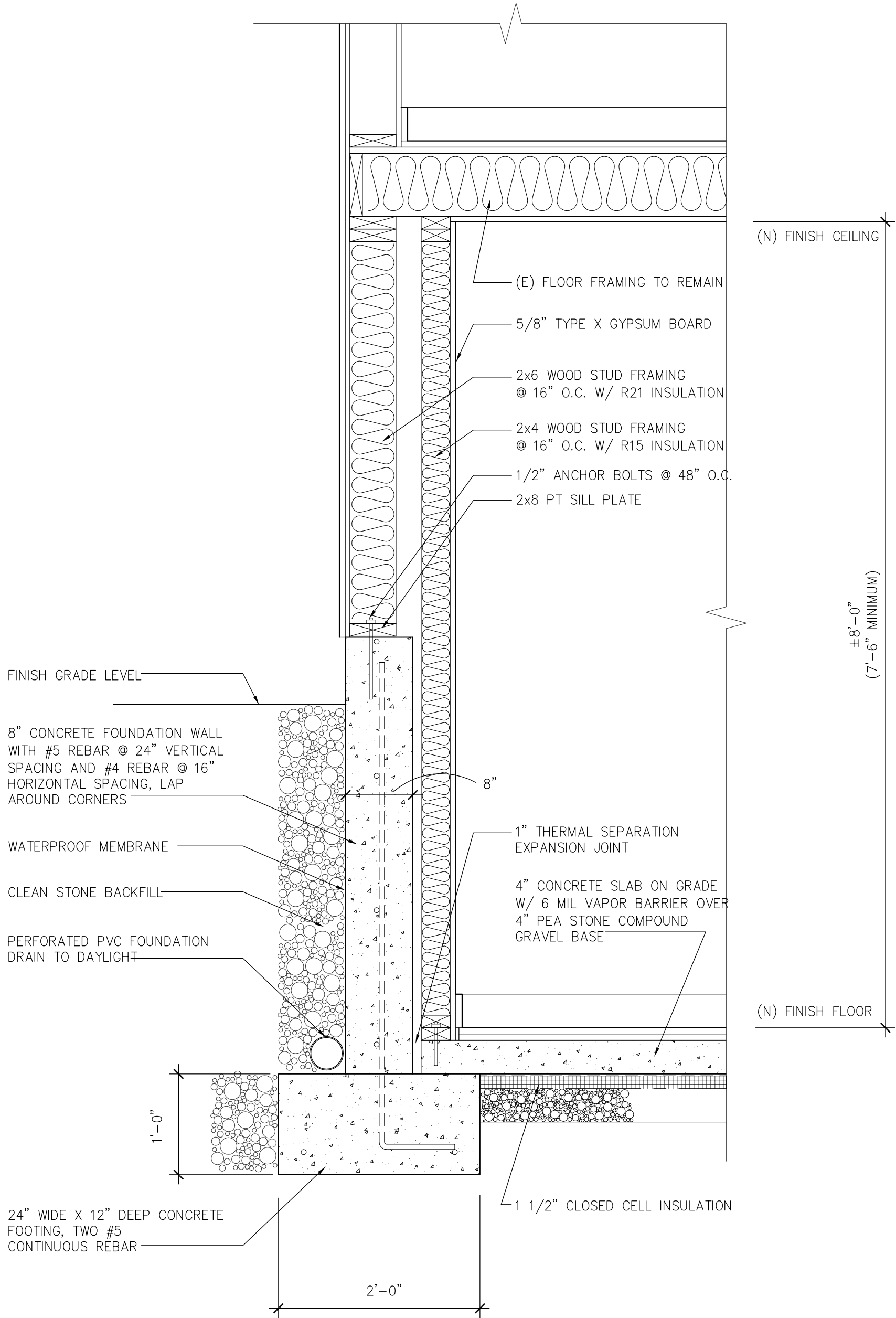
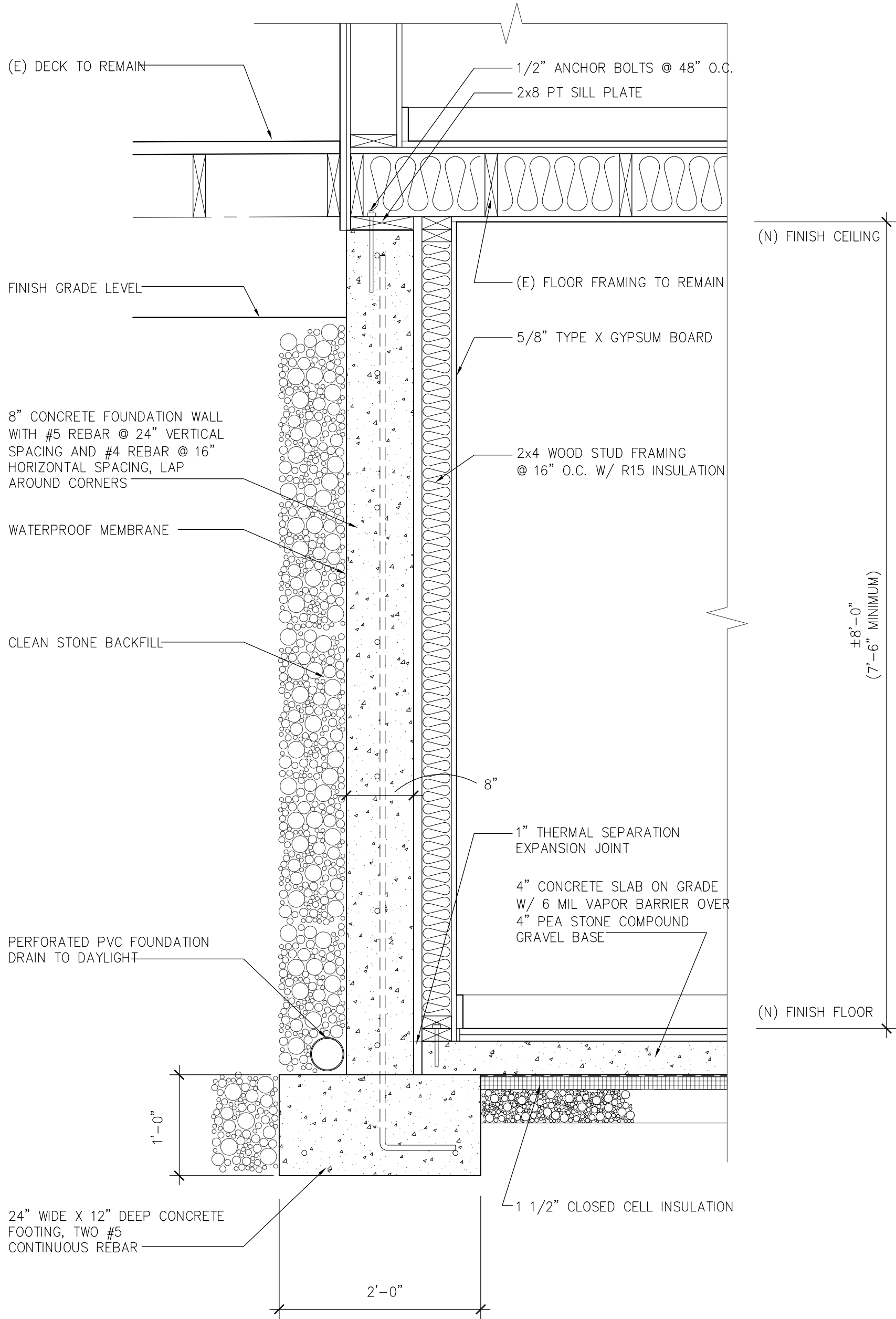
DBI STAMP:

SCALE: AS NOTED

SECTIONS AND
DETAILS

SHEET:

A8.1

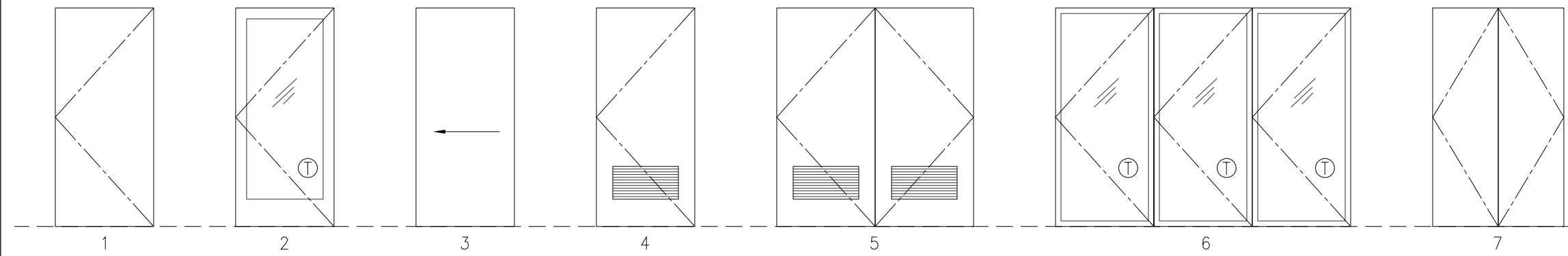


DOOR SCHEDULE																	
MARK	LOCATION		DOOR					FRAME						RATING			COMMENTS
	RM. NO.	ROOM NAME	WIDTH	HEIGHT	TYPE	CONST.	FINISH	TYPE	CONST.	FINISH	HEAD	JAMB					
FIRST FLOOR																	
101	—	UTILITY	2'–8"	6'–8"	1	WD	—	—	WD						NR		
102	—	BEDROOM #3	2'–6"	6'–8"	1	WD			WD						NR		
103	—	CLOSET	3'–0"	6'–8"	1	WD			WD						NR		
104	—	BEDROOM #3	3'–0"	6'–8"	1	WD			WD						NR		
105	—	CLOSET	2'–8"	6'–8"	1	WD			WD						NR		
106	—	BEDROOM #1	2'–8"	6'–8"	1	WD			WD						NR		
107	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
108	—	LAUNDRY	3'–0"	6'–8"	4	WD			WD						NR		LOUVERED
109	—	BEDROOM #2	2'–8"	6'–8"	1	WD			WD						NR		
110	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
111	—	CLOSET	2'–8"	6'–8"	1	WD			WD						NR		
112	—	DINING/LIVING	2'–8"	6'–8"	2	WD			WD						NR		TEMPERED GLAZING IN DOOR
SECOND FLOOR																	
201	—	DINING/LIVING	2'–10"	6'–8"	2	WD	—	—	WD						NR		TEMPERED GLAZING IN DOOR
202	—	DINING/LIVING	9'–0"	6'–8"	6	ALUM			ALUM						NR		TEMPERED GLAZING IN DOOR; THREE PANEL FOLDING DOOR
203	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
204	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
205	—	BEDROOM	2'–8"	6'–8"	1	WD			WD						NR		
206	—	CLOSET	2'–4"	6'–8"	1	WD			WD						NR		
THIRD FLOOR																	
301	—	BATH	2'–4"	6'–8"	1	WD	—	—	WD						NR		
302	—	CLOSET	2'–8"	6'–8"	3	WD			WD						NR		POCKET DOOR
303	—	ROOM #4	2'–8"	6'–8"	1	WD			WD						NR		
304	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
305	—	CLOSET	2'–8"	6'–8"	3	WD			WD						NR		POCKET DOOR
306	—	ROOM #6	2'–8"	6'–8"	1	WD			WD						NR		
307	—	LAUNDRY	5'–0"	6'–8"	5	WD			WD						NR		LOUVERED
308	—	ROOM #10	2'–6"	6'–8"	1	WD			WD						NR		
309	—	CLOSET	2'–4"	6'–8"	1	WD			WD						NR		
310	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
311	—	CLOSET	2'–4"	6'–8"	1	WD			WD						NR		
312	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
313	—	CLOSET	4'–0"	6'–8"	7	WD			WD						NR		
314	—	CLOSET	4'–0"	6'–8"	7	WD			WD						NR		
315	—	CLOSET	4'–0"	6'–8"	7	WD			WD						NR		
316	—	CLOSET	4'–0"	6'–8"	7	WD			WD						NR		
FOURTH FLOOR																	
401	—	BATH	2'–4"	6'–8"	1	WD	—	—	WD						NR		
402	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
403	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
404	—	CLOSET	2'–4"	6'–8"	1	WD			WD						NR		
405	—	CLOSET	2'–4"	6'–8"	1	WD			WD						NR		
406	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		
407	—	BATH	2'–4"	6'–8"	1	WD			WD						NR		

DOOR NOTES

- 1. GLAZING IN DOORS SHALL BE TEMPERED
- 2. DOOR THRESHOLDS SHALL BE MAXIMUM 1/2"
- 3. DOOR SIZES ARE NOMINAL: CONTRACTOR SHALL COORDINATE EXPANSION JOINTS, SEALANTS, SHIM, TOLERANCES, ETC. WITH DOOR MANUFACTURER
- 4. FIELD VERIFY ALL OPENINGS
- 5. DOOR # 109 SERVES AS EMERGENCY ESCAPE AND EGRESS OPENING FOR BEDROOM #1
- 6. DOOR # 210 SERVES AS EMERGENCY ESCAPE AND EGRESS OPENING FOR BEDROOM #2
- 7. DOOR # 301 SERVES AS EMERGENCY ESCAPE AND EGRESS OPENING FOR MASTER BEDROOM

DOOR TYPES



ABBREVIATIONS

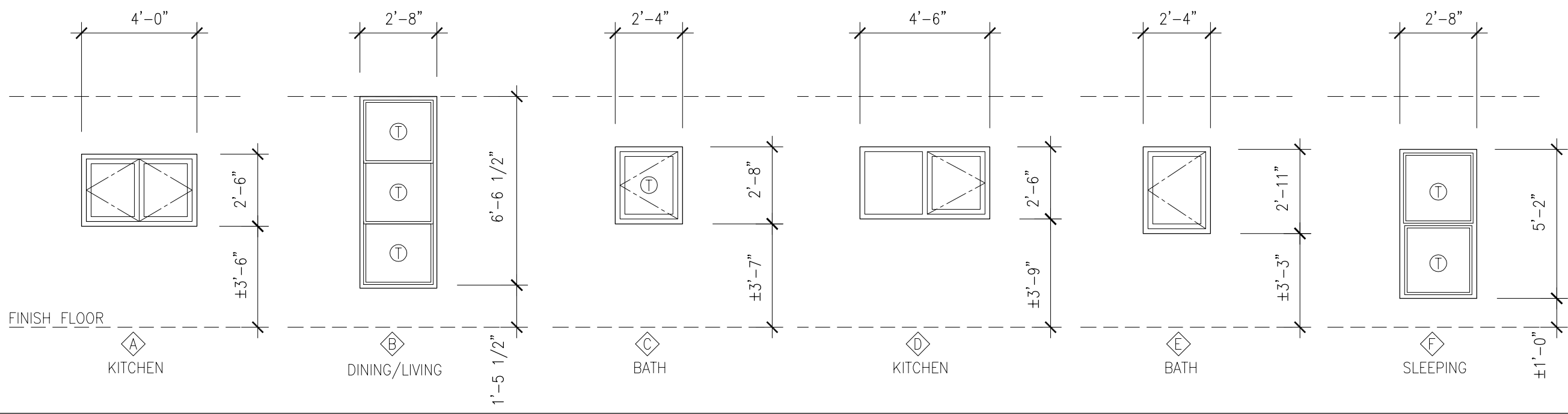
ALC	ALUMINUM CLAD	STL	STEEL
ALUM	ALUMINUM	WD	WOOD
FG	FIBERGLASS		
HR	HOUR		
MIN	MINUTE		

WINDOW NOTES

- 1. FIELD VERIFY ALL OPENINGS
- 2. NEW WOOD/ALUM CLAD WINDOWS SHALL BE MARVIN SIGNATURE ULTIMATE
- 3. NEW FIBERGLASS WINDOWS SHALL BE MARVIN SIGNATURE MODERN

WINDOW SCHEDULE

MARK	OPERATION	GLASS	FRAME			COMMENTS
			CONST.	FINISH	RATING	
A	DBL CASEMENT	CLR	WD	CLR	NR	
B	TRIPLE HUNG	CLR	WD	CLR	NR	TEMPERED GLAZING
C	CASEMENT	CLR	FG	CLR	NR	TEMPERED GLAZING
D	CASEMENT/FIXED	CLR	WD	CLR	NR	
E	CASEMENT	CLR	WD	CLR	NR	
F	DBL HUNG	CLR	WD	CLR	NR	TEMPERED GLAZING



Permit Set	9–12–2022
Architectural Review Board	11–28–2023

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

STRUCTURAL NOTES

- Existing roof and floor joists for the second, third, and fourth floors to remain. Infill with floor joists matching existing size and spacing as needed.
- Install new electric, heating, and plumbing according to NYS Building Code. Provide electrical, plumbing, and mechanical plans as requested by the Code Enforcement Official.
- These plans do not show all the standard details used during construction. New York State Building code standards and practices should be followed.
- Footing design is based on normal soil conditions with an allowable load of 1500 psf. If substandard soil (soft clay or silt) is encountered the designer should be contacted.
- Design is based on a 48 psf ground snow load with applicable modifications. Roof design dead load is 20 psf due to the presence of a double roof. Floor design loads are 10 psf dead and 30 psf live for the third and fourth floors, and 10 psf dead and 40 psf live for the second floor. First floor load is on a concrete slab.
- Minimum 28 day compressive strength is 3000 psi for concrete footers and walls and 4000 psi for concrete slabs.
- Maximum U value for new doors and windows to be .30.
- Minimum floor to sill window installation height without safety glazing is 18" for new windows.
- One installed window in each bedroom to provide emergency escape dimensions of 24 inches high, 20 inches wide, and a minimum net clear opening of 5.7 square feet. First floor egress windows may have a minimum net clear opening of 5.0 square feet.
- Smoke alarms are required in each bedroom, outside the bedroom area, and on each floor. Units shall be wired to the electric system, be interconnected, and have battery backup. A CO detector is required on each floor with a sleeping unit and all floors with CO emitting appliances. Units shall be wired to the electric system, be interconnected, and have battery backup. Submit plan as required by CEO.
- Max allowable rise in new stairs is 8 1/4", minimum allowable tread depth is 9", min head clearance 6'-8". Hand rail to be mounted 34 to 38 inches above the stair tread nosing. Protect all open edges with railings and guards.
- All new structural steel to be Grade 50.
- LVLs to be Trus Joist Microlam, 1.9E, 2600 psi or better.
- All new lumber to be SPF #2 or better.
- Some structural items may need to be determined after exposure of existing members. Contact Rock Hill Engineering for sizing of members that are not dictated on the plan.
- Bridging should be installed at mid span of new floor joists.
- For pressure treated lumber applications use hot dipped galvanized G185 connectors and hardware or stainless steel. All lumber in contact with concrete must be treated.

DESIGN LOAD INFORMATION

Elevation 1357 ft
Ground Snow Load 48 PSF
Ct = 1.1, Ce = 1.0, I = 1.0, Cs = 1.0
Design Snow Load (minimum) = 37 PSF
Roof Dead Load = 20 psf
Total minimum roof design load = 57 psf
Second Floor design load 50 psf total
Third and Fourth Floor design load 40 psf total

Design Wind Speed = 90 mph (ASD) 115 mph (ultimate)
Exposure = B, I = 1.0, Kzt = 1.0

Seismic Design Category B, Site Class D

Unknown Soil type. Allowable soil bearing load 1500 psf.

2020 International Building Code

Reviewed By:
Peter Radka
Rock Hill Engineering LLC
6948 Kings Corners Rd
Panama, NY 14767
(716)782-2206

SCALE: NTS

TITLE:
STRUCTURAL
NOTES

SHEET:

S1.0

GENERAL NOTES

1. -

KEYNOTES

- 1 CONCRETE FOOTING: 30" x 30" x 12" DEEP, (3) #5 REBAR EACH WAY
- 2 CONCRETE FOOTING: 48" x 48" x 12" DEEP, (5) #5 REBAR EACH WAY
- 3 CONCRETE FOOTING: 36" x 36" x 12" DEEP, (3) #5 REBAR EACH WAY
- 4 CONCRETE FOOTING: 42" x 42" x 12" DEEP, (4) #5 REBAR EACH WAY
- 5 CONCRETE FOOTING: 60" x 60" x 16" DEEP, (6) #5 REBAR EACH WAY
- 6 CONCRETE FOOTING BELOW SLAB: 24" WIDE x 12" DEEP, (2) #5 CONTINUOUS REBAR
- 7 CONCRETE FOOTING: 24" WIDE x 12" DEEP, (2) #5 CONTINUOUS REBAR, FOOTING DEPTH MINIMUM 42" BELOW GRADE, TYP.

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

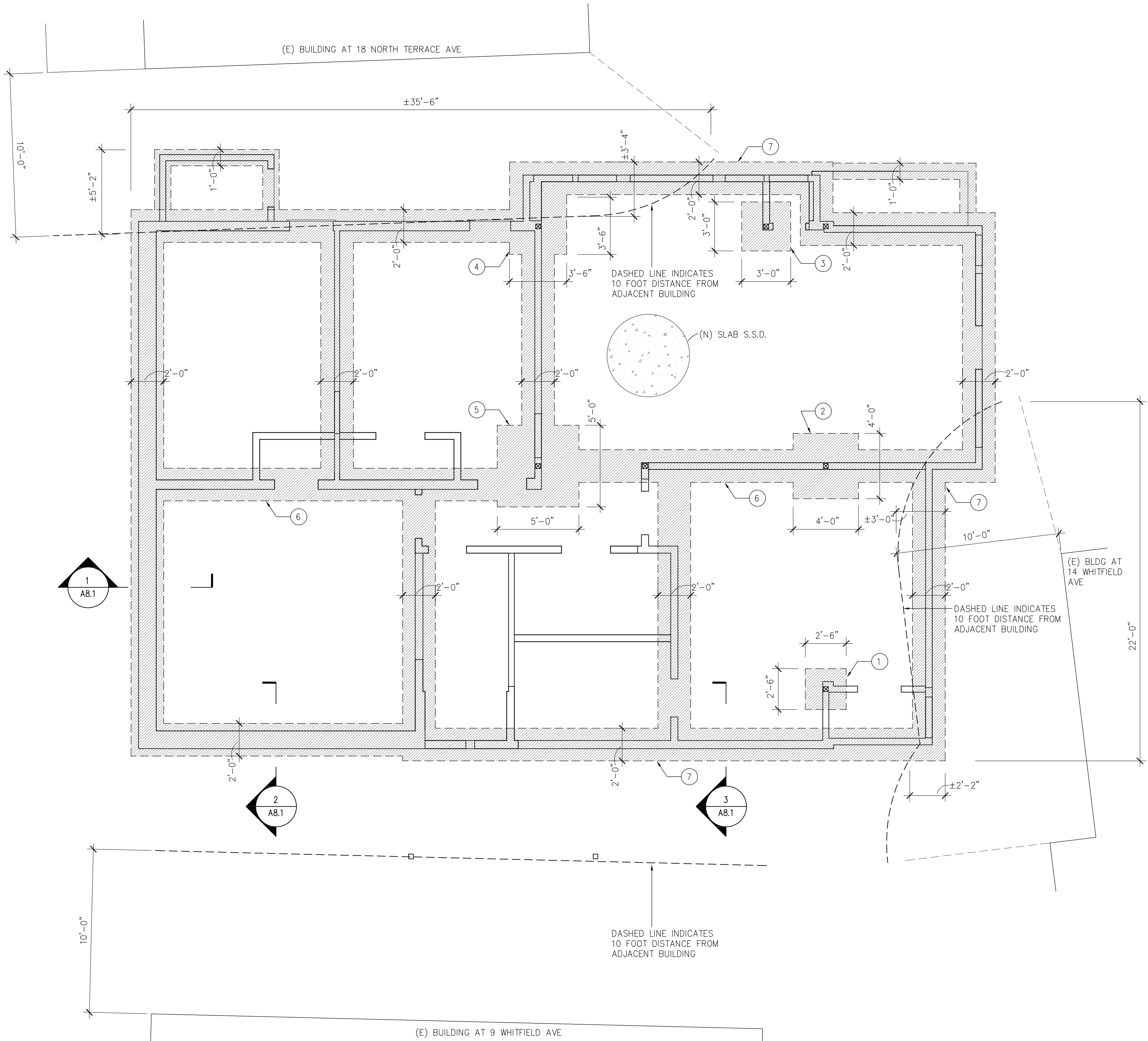
DBI STAMP:

SCALE: 1/4"=1'-0"

TITLE:
PROPOSED
FOUNDATION PLAN

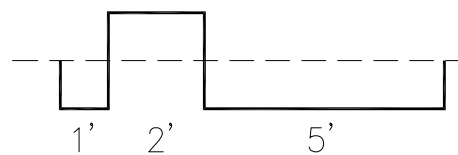
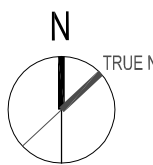
SHEET:

S2.0



1 PROPOSED
FOUNDATION PLAN / 1/4"=1'-0"

PROJECT



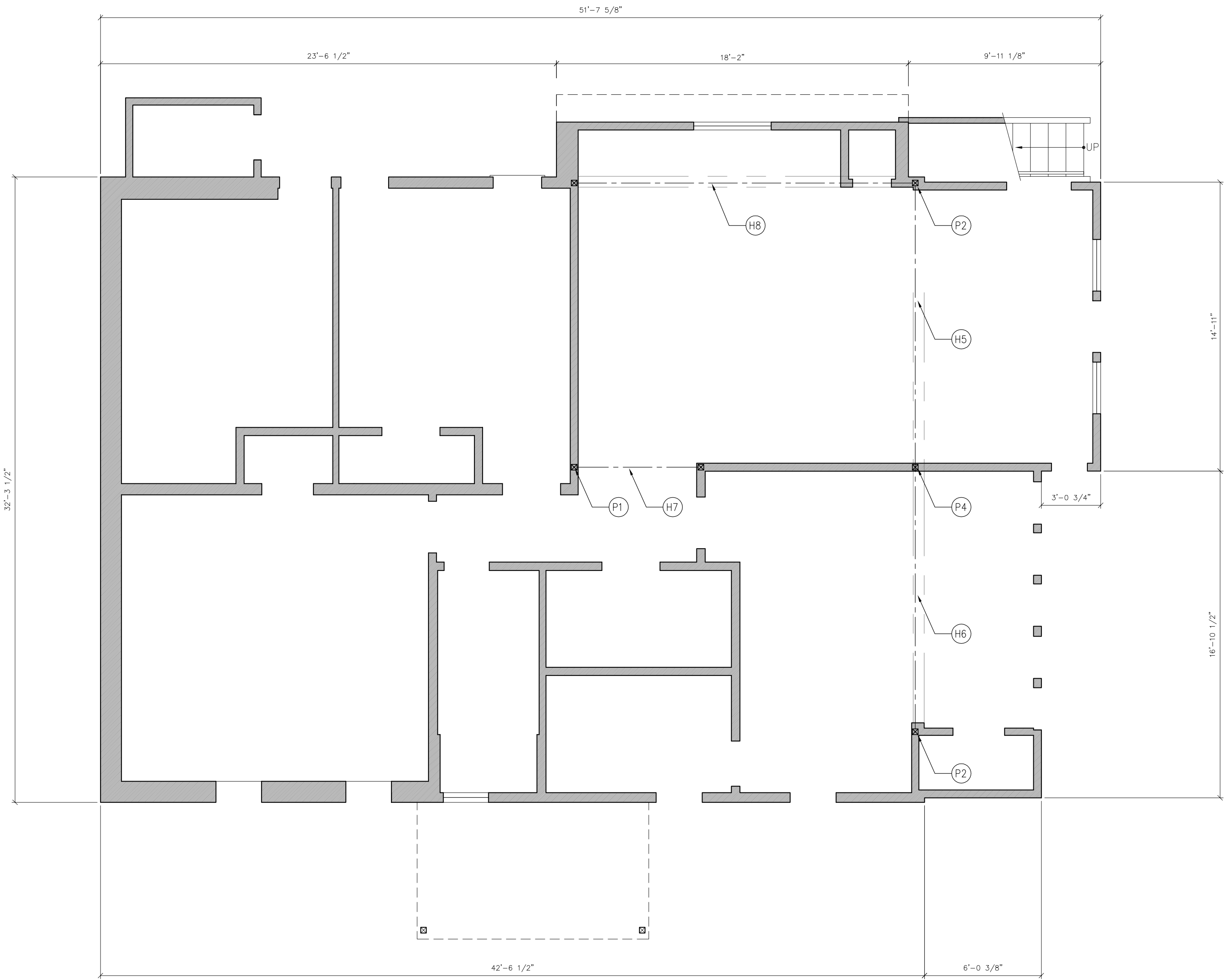
GRAPHIC SCALE

GENERAL NOTES

1. -

KEYNOTES

- (H5) (3) 16" LVL
- (H6) (3) 16" LVL
- (H7) (3) 11 1/4" LVL WITH (4) 2x6 JACK STUDS EACH END
- (H8) (3) 16" LVL WITH (4) 2x6 JACK STUDS EACH END
- (P1) 8"x8" SOLID TIMBER (OR P5 STD PIPE COLUMN)
- (P2) (3) 2x6 JACK STUD
- (P4) (4) 2x6 JACK STUD



Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

DBI STAMP:

SCALE: 1/4"=1'-0"

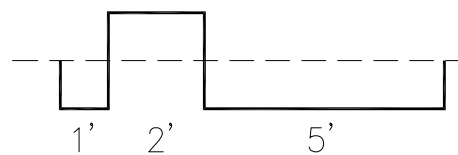
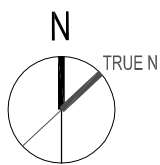
TITLE:
PROPOSED
FIRST FLOOR
FRAMING PLAN

SHEET:

S2.1

1 PROPOSED
FIRST FLOOR FRAMING PLAN / 1/4"=1'-0"

PROJECT



GRAPHIC SCALE

GENERAL NOTES

1. -

KEYNOTES

- (H1) VERIFY CONDITIONS IN FIELD; (N) HEADER MAY BE REQUIRED
- (H2) (3) 18" LVL CONTINUOUS (OR (4) 16" LVL CONTINUOUS)
(OR W12x30 W/ STL COLUMNS)
- (H3) (3) 2x10, DOUBLE JACK STUD EACH END
- (H4) (3) 11 1/4" LVL, DOUBLE JACK STUD EACH END
- (P1) 8"x8" SOLID TIMBER (OR P5 STD PIPE COLUMN)
- (P2) (3) 2x6 JACK STUD
- (P3) (5) 2x6 JACK STUD

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-605-1536
Email: davidcumby@gmail.com

PROJECT/CLIENT:
Residential Renovation
16 North Terrace
Chautauqua, NY 14722

Permit Set

ISSUE/DATE:	
Permit Set	9-12-2022
Architectural Review Board	11-28-2023

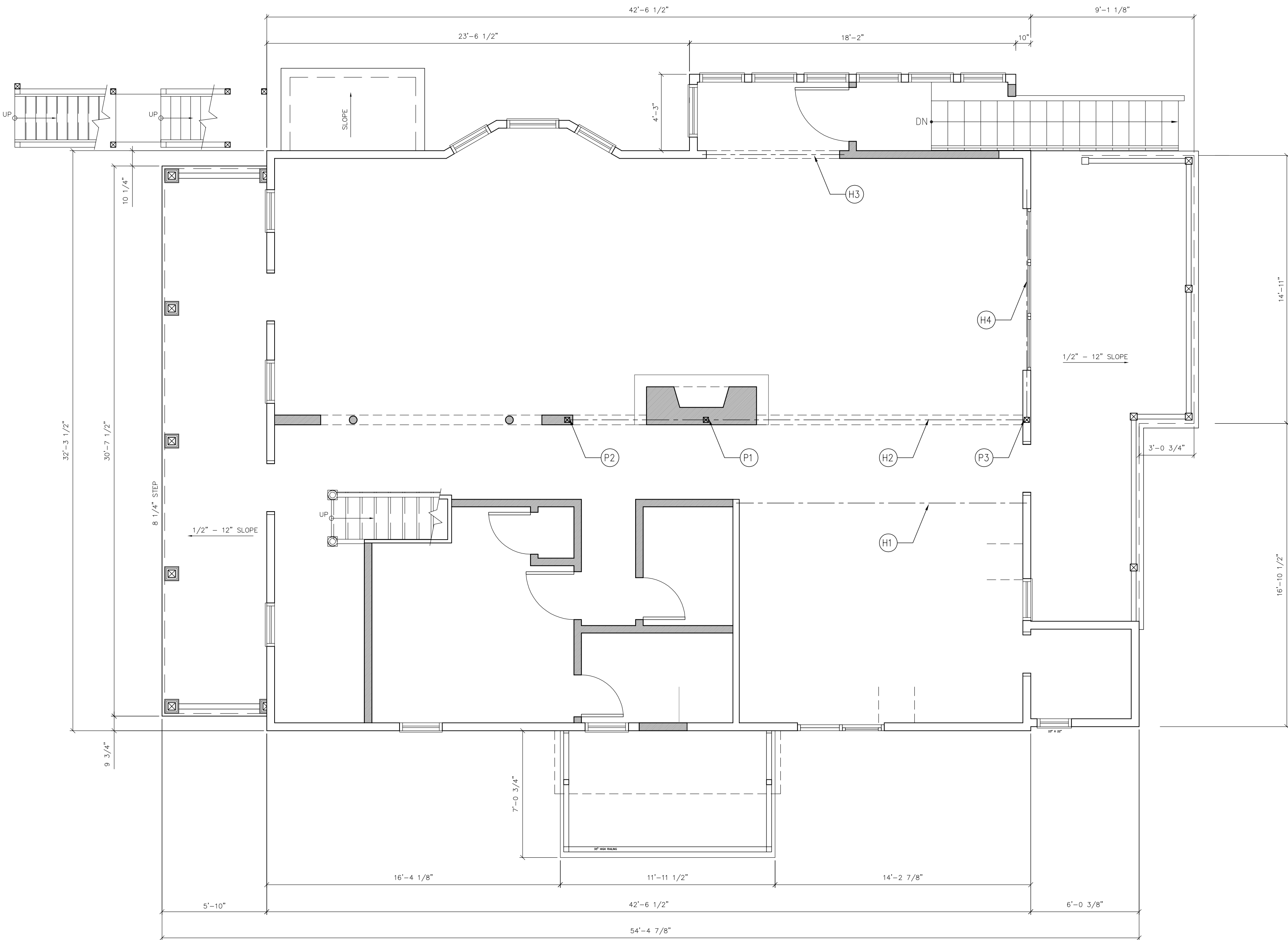
DBI STAMP:

SCALE: 1/4"=1'-0"

TITLE:
PROPOSED
SECOND FLOOR
FRAMING PLAN

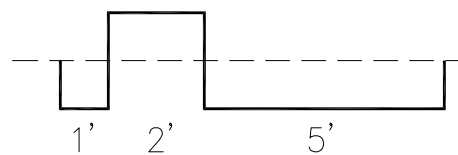
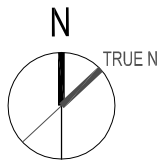
SHEET:

S2.2



1 PROPOSED
SECOND FLOOR FRAMING PLAN / 1/4"=1'-0"

PROJECT



GRAPHIC SCALE

CHQ Institution Architectural and Lane Use Compliance Certification Application
Additional Materials

16 North Terrace Avenue Chautauqua NY
Erica & Brian Hunt / Linda & David Shaffer

E.1) Type(s) of work to be performed:

Other: Interior Structural Alterations, Foundation, Driveway, walks, window replacement, demolition, renovation, Roof, Porches

E.2) Description of work (attach drawings if available) Also complete item "K" next page:

Extensive interior renovation of structure, interior alteration of walls, removal of internal stair to make a separate lower garden level apartment, restoration of exterior of building, complete new foundation. See attached plans.

F) Date Work is Expected to Begin

February 2024 to finish by May 2025

G) Selected historic preservation classification: (see 4.12 in Regulations)

(Rehabilitation)

H) Proposed Materials (plastic, vinyl are prohibited): Wood, concrete, metal

I) Identify the industry recognized architectural style: Victorian

J) Identify tree disturbances (within canopy) and/or proposed removals: NE tree to remain

K) Describe how site drainage during construction and after construction will be managed in compliance with Regulations (attach drawings if necessary):

All existing downspouts to drain into the existing drainage line that exits the east end of the site into common sewer.

L) Describe how you will manage legal off-street parking on the project site:

Building site includes two lots, rear lot is vacant. Rear lot will be used for staging and parking and will also become a parking space.

M) THE INSTITUTION STAFF CANNOT GRANT SPECIAL EXCEPTIONS TO, OR VACIANCES FROM, THE ARCHITECTURAL AND LAND USE REGULATIONS. PLEASE INDICATE BELOW IF THE WORK IS SUCH THAT ACTION FROM THE ARCHITECTURAL REVIEW BOARD (ARB) IS REQUIRED.

Variance is Being Requested ☒ YES ☐ NO

Special Exception is Requested ☐ YES ☒ NO

Describe Variances/Exception Requested:

- Request for Substantial Demolition of the Building at 16 N Terrace (Architectural and Land Use Regulations Section 2.1.87)
 - Lower level to have new footings and foundation.
 - All new framing on garden level
- Variance for new construction to come within 10'-0" of a neighboring structure (Architectural and Land Use Regulations Section 4.3.6)
 - Some areas of perimeter foundation are within 10' of neighboring structures (see site plans for notations)
- Variance for encroachment into a setback on the North Western side of the property (Architectural and Land Use Regulations Section 4.3.6)
 - Perimeter foundation is within 10' of property
 - Remove current non-code compliant escape stairs
 - Install new egress fire escape ladder
- Variance for encroachment into a setback on the North Eastern side of the property (Architectural and Land Use Regulations Section 4.3.6)
 - Perimeter foundation is within 10' of property
 - Rotted rear egress stairs repaired and replaced in kind
- Variance for encroachment into a setback on the South Eastern side of the property (Architectural and Land Use Regulations Section 4.3.6)
 - Perimeter foundation is within 10' of property

N) Lot Size, Intensity, Impervious Surface Ratio: (See Regulations for definitions)

Lot Width: 43'1"

Lot Areas: 3616

Floor/Area Ratio: 1.59

Impervious Surface Ratio: .44

O) Height to Eave: 25'6" (front) 34' (rear)

Height to Highest Ridge/Point: 37'

P) I agree to reimburse Chautauqua Institution for all costs, repairs and/or construction to any road surface and/or right-of-way resulting from construction activities: ☒ YES ☐ NO

Q) I agree to abide by the Rules & Regulations Chautauqua Institution and the Architectural and Land Use Regulations: ☒ YES ☐ NO

R) I understand that financial penalties apply for violations of the Architectural and Land Use Regulations and I agree to pay such fines if violations occur: ☒ YES ☐ NO

Office Use ONLY

Application Received: In Person ☐ By Mail ☐ By Email ☐ Date _____
 Request Investigated by _____ Date _____
 Permit Approved: ☒ YES ☐ NO Date _____
 Recommend to ARB: ☒ YES ☐ NO Date _____
 ARB Approval: ☒ YES ☐ NO Date _____
 Permit Issued By _____ Permit Number _____ Date _____
 Other Notes _____

Website link: www.chq.org/construction-resources



ARCHITECTURAL AND LAND USE COMPLIANCE CERTIFICATE APPLICATION

Chautauqua Institution has specific regulations for ALL construction, landscaping, and use of properties on the grounds. **All construction work** (except routine maintenance; interior finishes, non-structural interior alterations; kitchen/bath alterations; interior mechanical systems; exterior painting) **must first be reviewed and approved by the Administrator of Architectural and Land Use Regulations prior to starting work on-site.** (See Compliance Process Matrix 6.3 in the Architectural and Land Use Regulations). A current, valid Compliance Certificate issued by Chautauqua Institution's Office of Campus Planning **MUST BE POSTED** on the site for the duration of the approved project work. A Town of Chautauqua Building Permit may also be required for the project, depending on the scope of work.

PLEASE FILL IN THE FOLLOWING INFORMATION:

- A) Property Owner's Name Brian & Erica Hunt and Dave & Linda Shaffer
 Chautauqua Address 16 North Terrace
 Permanent Address 1435 Montero Avenue, Burlingame, CA 94010
 Owner's Phone # 415-377-4090 Owner's Cell # 415-377-4090
 Owner's e-mail 28brian@gmail.com
- B) Construction Site House Number 16 Unit # n/a
- C) CHQ District of Construction Site: ☒ Mixed Use Core ☐ Neighborhood Traditional
☐ Neighborhood Suburban ☐ Miller Park ☐ Highlands
☐ Garden District ☐ Woodlands ☐ Suburban Multi-Family
- D) Prime Contractor / Construction Manager (Names, Phone Numbers, E-mail address)
CM- Brian Hunt, 415-377-4090, 28brian@gmail.com
 Contractor Authorization Certificate # _____
 Subcontractor (Names & Contact Information) Allen Miller (716) 753-6543
 Contractor Authorization Certificate # see existing
 Subcontractor (Names & Contact Information) Bender Excavating (716) 269-9380
 Contractor Authorization Certificate # see existing
- E.1) Type(s) of Work To Be Performed: ☐ Interior Structural Alterations ☐ Foundations
☐ Driveways/Walks/Patios ☐ Window changes/replacements ☐ New Awning
☐ Demolition ☐ Renovation ☐ Reconstruction ☐ Garage ☐ Additions
☐ New Construction ☐ Exterior HVAC/ Mechanical Units ☐ Roofs
☐ Porches/Decks/Patios/Pergolas/Balconies ☐ Site Features or Change of Grade
☒ Other Rehabilitation (see plans) Interior Structural Alterations, Foundation, Driveway, walks, window replacement, demolition, renovation, roof, porches

E.2) Description of Work (Attach additional sheets and/or drawings if available):

Extensive interior renovation of structure, interior alteration of walls, removal of internal stair to make a separate

lower garden level apartment, restoration of exterior of building, complete new foundation. (See attached plans)

- F) Date Work Is Expected To Begin February 2, 2024 To Finish By May 31, 2025
- G) Selected historic preservation classification: (See 4.12 in Regulations)
(☐) Preservation (☐) Reconstruction (☒) Rehabilitation (☐) Restoration
- H) Proposed Materials: (plastic, vinyl are prohibited) Wood, concrete, metal
- I) Identify the industry recognized architectural style: Victorian
- J) Identify tree disturbances (within canopy) and/or proposed removals: NE tree to remain
- K) Describe how site drainage during construction and after construction will be managed in compliance with Regulations (attach drawings if applicable):
All existing downspouts to drain into existing drainage line that exits at east end of the site into common sewer
- L) Describe how you will manage legal off-street parking on the project
site: Building site includes two lots, rear lot is vacant.
Rear lot will be used for staging and parking and will also become a parking space.
- M) THE INSTITUTION STAFF CANNOT GRANT SPECIAL EXCEPTIONS TO, OR VARIANCES FROM, THE ARCHITECTURAL AND LAND USE REGULATIONS. PLEASE INDICATE BELOW IF THE WORK IS SUCH THAT ACTION FROM THE ARCHITECTURAL REVIEW BOARD (ARB) IS REQUIRED.
- Variance Is Being Requested ☒ YES ☐ NO
Special Exception is Requested ☐ YES ☒ NO
Describe Variances/Exception Requested (see attached document)
- N) Lot Size, Intensity, Impervious Surface Ratio: (See Regulations for definitions)
Lot Width: 43'1" Lot Area: 3616 Floor/Area Ratio: 1.59
Impervious Surface Ratio: .44
- O) Height to Eave: 25'6" (front) 34' (rear) Height to Highest Ridge/Point: 37'
- P) I agree to reimburse Chautauqua Institution for all costs, repairs and/or construction to any road surface and/or right-of-way resulting from construction activities
☒ YES ☐ NO
- Q) I agree to abide by the Rules & Regulations Chautauqua Institution and the Architectural and Land Use Regulations: ☒ YES ☐ NO
- R) I understand that financial penalties apply for violations of the Architectural and Land Use Regulations and I agree to pay such fines if violations occur: ☒ YES ☐ NO
(Refer to **Schedule of Penalties**. Liens will be placed upon properties for unpaid penalties)

Schedule of Penalties (See Chautauqua Institution Rules & Regulations):

For All Projects

- | | |
|---|---------------------------------------|
| 1. Failure to Post Compliance Certificate in Visible Location on Property | \$ 25 / day |
| 2. Commencement of Construction Activities prior to receipt of Chautauqua Institution Certificate of Compliance | Max. \$1,000 or \$250 / day |
| 3. Unauthorized Demolition | Max. \$10,000 or \$100 / day |
| 4. Construction Site Maintenance | \$100 / day |
| 5. Failure to Correct Violation | Max. \$1,000 or \$100 / day |
| 6. Removal of Tree from Institution Property | \$10,000 Max. - \$5,000 Min. per tree |
| 7. Removal of Tree from Private Property | \$ 5,000 Max. - \$1,000 Min. per tree |

Compliance Certificate Review Fees :

All exterior or interior remodeling	\$35
Additions to existing buildings	\$90
New construction and substantial rehabilitation	\$200
All cases going to the ARB	\$310

Note: Fees/Penalties are reviewed annually by the Board of Trustees and may change without notice.

Acknowledgement:

I understand that by signing this document I agree to abide by the Rules & Regulations of Chautauqua Institution and the Architectural and Land Use Regulations. I also certify that the above information is true and correct to the best of my knowledge and that I understand and agree to pay the listed penalties in the instances of violations:


Property Owner's Signature ***

12-7-23
Date


Prime Contractor / CM's Signature

12-7-23
Date

NOTE: ALL CONTRACTORS MUST HAVE A CERTIFICATE OF AUTHORIZATION ISSUED BY CHAUTAUQUA INSTITUTION PRIOR TO PERFORMING CONSTRUCTION ON THE GROUNDS OF CHAUTAUQUA INSTITUTION.

No changes shall be made in such work that deviate from that submitted without the prior approval of the Institution. The issuance of a Compliance Certificate is in addition to and not in substitution for required building permits issued by appropriate governmental authorities, especially the Town of Chautauqua and the Chautauqua Utility District.