



OFFICE OF CAMPUS PLANNING & OPERATIONS

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

December 18th 2023

Dear Chautauquan,

The owner of the United Church of Christ is requesting to come before the Architectural Review Board to remove and relocate two (2) historic windows on their Building. This work proposes removal, replacement and relocation of historic windows at their property to accommodate the change proposed change in layout for two (2) second floor restrooms. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variances/Requests being considered:

- 1) Request for the removal, replacement and relocation of historic windows in the Building with new windows. (ALU 4.2.2.3)

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project may be reviewed online using the following link: [Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://www.chq.org/architecture-review-board-news-and-notes)

The Architectural Review Board will meet on **February 1st 2024 on a Zoom call at 12:00pm Noon. Please use the link below if you would like to join the Zoom call.** Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at arb@chq.org until 12:00pm noon on January 31st 2024.

PO Box 28 • Chautauqua, NY 14722
716.357.6245 • 716.357.9014 (fax)
ARB@chq.org • [chq.org](https://www.chq.org)

Topic: ARB Meeting

Time: Feb 1, 2024 12:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/85642067137?pwd=WTlmeiNaNWNEb3kvNjBPVGhhQ0c5QT09>

Meeting ID: 856 4206 7137

Passcode: 0201

One tap mobile

+16469313860,,85642067137#,,,,*0201# US

+16468769923,,85642067137#,,,,*0201# US (New York)

Dial by your location

- +1 646 931 3860 US
- +1 646 876 9923 US (New York)
- +1 312 626 6799 US (Chicago)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 719 359 4580 US
- +1 253 205 0468 US
- +1 253 215 8782 US (Tacoma)
- +1 346 248 7799 US (Houston)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 408 638 0968 US (San Jose)
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 669 444 9171 US
- +1 669 900 6833 US (San Jose)
- +1 689 278 1000 US

Find your local number: <https://us02web.zoom.us/j/kbsUzCxn7Y>

Thank you for your time!

Respectfully,



Ryan B. Boughton, Assoc. AIA

Administrator of Architectural and Land Use Regulations

rboughton@chq.org | o: 716.357.6245

PO Box 28 • Chautauqua, NY 14722
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ARB@chq.org • chq.org

Office Use ONLY

Application Received: In Person ___ By Mail ___ By Email ___ Date _____
 Request Investigated by _____ Date _____
 Permit Approved: ☐ YES ☒ NO Date _____
 Recommend to ARB: ☐ YES ☐ NO Date _____
 ARB Approval: ☐ YES ☐ NO Date _____
 Permit Issued By _____ Permit Number _____ Date _____
 Other Notes _____



Website link: www.chq.org/construction-resources

ARCHITECTURAL AND LAND USE COMPLIANCE CERTIFICATE APPLICATION

Chautauqua Institution has specific regulations for ALL construction, landscaping, and use of properties on the grounds. **All construction work** (except routine maintenance; interior finishes, non-structural interior alterations; kitchen/bath alterations; interior mechanical systems; exterior painting) **must first be reviewed and approved by the Administrator of Architectural and Land Use Regulations prior to starting work on-site.** (See Compliance Process Matrix 6.3 in the Architectural and Land Use Regulations). A current, valid Compliance Certificate issued by Chautauqua Institution's Office of Campus Planning **MUST BE POSTED** on the site for the duration of the approved project work. A Town of Chautauqua Building Permit may also be required for the project, depending on the scope of work.

PLEASE FILL IN THE FOLLOWING INFORMATION:

- A) Property Owner's Name John Forristal
 Chautauqua Address 6 Bowman Ave
 Permanent Address —
 Owner's Phone # 216-592-8573 Owner's Cell # _____
 Owner's e-mail j+f32@yahoo.com/uccchaplain@gmail.com
- B) Construction Site House Number 6 Bowman Ave Unit # _____
- C) CHQ District of Construction Site: ☒ Mixed Use Core ☐ Neighborhood Traditional
☐ Neighborhood Suburban ☐ Miller Park ☐ Highlands
☐ Garden District ☐ Woodlands ☐ Suburban Multi-Family
- D) Prime Contractor / Construction Manager (Names, Phone Numbers, E-mail address)
Mayshank Builders Inc
 Contractor Authorization Certificate # on file
 Subcontractor (Names & Contact Information) _____
 Contractor Authorization Certificate # _____
 Subcontractor (Names & Contact Information) _____
 Contractor Authorization Certificate # _____
- E.1) Type(s) of Work To Be Performed: ☒ Interior Structural Alterations ☐ Foundations
☐ Driveways/Walks/Patios ☒ Window changes/replacements ☐ New Awning
☐ Demolition ☐ Renovation ☐ Reconstruction ☐ Garage ☐ Additions
☐ New Construction ☐ Exterior HVAC/ Mechanical Units ☐ Roofs
☐ Porches/Decks/Patios/Pergolas/Balconies ☐ Site Features or Change of Grade
☐ Other _____
- E.2) Description of Work (Attach additional sheets and/or drawings if available):
Reconfiguring bathrooms to provide more space and larger showers. Moving windows in the best way to achieve the goal. see drawings.

F) Date Work Is Expected To Begin 1/8/23 To Finish By 6/20/23

G) Selected historic preservation classification: (See 4.12 in Regulations)

☐ Preservation ☒ Reconstruction ☐ Rehabilitation ☐ Restoration

H) Proposed Materials: (plastic, vinyl are prohibited) match existing or improve

I) Identify the industry recognized architectural style: —

J) Identify tree disturbances (within canopy) and/or proposed removals: none

K) Describe how site drainage during construction and after construction will be managed in compliance with Regulations (attach drawings if applicable): N/A

L) Describe how you will manage legal off-street parking on the project site: park in parking spaces or in main lot

M) THE INSTITUTION STAFF CANNOT GRANT SPECIAL EXCEPTIONS TO, OR VARIANCES FROM, THE ARCHITECTURAL AND LAND USE REGULATIONS. PLEASE INDICATE BELOW IF THE WORK IS SUCH THAT ACTION FROM THE ARCHITECTURAL REVIEW BOARD (ARB) IS REQUIRED.

Variance Is Being Requested ☒ YES ☐ NO

Special Exception is Requested ☐ YES ☐ NO

Describe Variances/Exception Requested Move ~~current~~ windows to a new location & improve by purchasing a Marvin windows.

N) Lot Size, Intensity, Impervious Surface Ratio: (See Regulations for definitions)

Lot Width: — Lot Area: — Floor/Area Ratio: —

Impervious Surface Ratio: —

O) Height to Eave: — Height to Highest Ridge/Point: —

P) I agree to reimburse Chautauqua Institution for all costs, repairs and/or construction to any road surface and/or right-of-way resulting from construction activities
☒ YES ☐ NO

Q) I agree to abide by the Rules & Regulations Chautauqua Institution and the Architectural and Land Use Regulations: ☒ YES ☐ NO

R) I understand that financial penalties apply for violations of the Architectural and Land Use Regulations and I agree to pay such fines if violations occur: ☒ YES ☐ NO
(Refer to Schedule of Penalties. Liens will be placed upon properties for unpaid penalties)

Schedule of Penalties (See Chautauqua Institution Rules & Regulations):

For All Projects

- | | |
|---|---------------------------------------|
| 1. Failure to Post Compliance Certificate in Visible Location on Property | \$ 25 / day |
| 2. Commencement of Construction Activities prior to receipt of Chautauqua Institution Certificate of Compliance | Max. \$1,000 or \$250 / day |
| 3. Unauthorized Demolition | Max. \$10,000 or \$100 / day |
| 4. Construction Site Maintenance | \$100 / day |
| 5. Failure to Correct Violation | Max. \$1,000 or \$100 / day |
| 6. Removal of Tree from Institution Property | \$10,000 Max. - \$5,000 Min. per tree |
| 7. Removal of Tree from Private Property | \$ 5,000 Max. - \$1,000 Min. per tree |

Compliance Certificate Review Fees :

All exterior or interior remodeling	\$35
Additions to existing buildings	\$90
New construction and substantial rehabilitation	\$200
All cases going to the ARB	\$310

Note: Fees/Penalties are reviewed annually by the Board of Trustees and may change without notice.

Acknowledgement:

I understand that by signing this document I agree to abide by the Rules & Regulations of Chautauqua Institution and the Architectural and Land Use Regulations. I also certify that the above information is true and correct to the best of my knowledge and that I understand and agree to pay the listed penalties in the instances of violations:

Property Owner's Signature ***

Date



12/13/23

Prime Contractor / CM's Signature

Date

NOTE: ALL CONTRACTORS MUST HAVE A CERTIFICATE OF AUTHORIZATION ISSUED BY CHAUTAUQUA INSTITUTION PRIOR TO PERFORMING CONSTRUCTION ON THE GROUNDS OF CHAUTAUQUA INSTITUTION.

No changes shall be made in such work that deviate from that submitted without the prior approval of the Institution. The issuance of a Compliance Certificate is in addition to and not in substitution for required building permits issued by appropriate governmental authorities, especially the Town of Chautauqua and the Chautauqua Utility District.

IMPORTANT CONTACT INFORMATION:

Operations Office: 1 Ames Avenue
P.O. Box 28
Chautauqua, NY 14722

O: 716-357-6245
F : 716-357-9014

Jennifer Majewski Administrative Assistant

716-357-6245
jmajewski@chq.org

Ryan B. Boughton Administrator of Architectural and Land Use Regulations

716-357-6245
rboughton@chq.org

John Shedd Vice President of Campus Planning and Operations

716-357-6245
jshedd@chq.org

Amy Hummel Buildings/Grounds/Gardens Assistant

716-357-6208
ahummel@chq.org

Jack Munella Manager of Buildings and Grounds

716-357-6237
jmunella@chq.org

Betsy Burgeson Gardens Supervisor (Trees)

716-357-6326
bburgeson@chq.org

Chautauqua Institution Security:

Billy Leone Sergeant

716-357-6225

Town of Chautauqua:

Jeff Paddock NYS Code Enforcement Official
Ken Shearer NYS Code Enforcement Official

716-753-3433
716-753-7342

Other:

Chautauqua Utility District Office
CUD Wastewater Management

716-357-5865
716-357-8137

NY State Call Before You Dig

811

**ALL DOCUMENTS ARE AVAILABLE FOR DOWNLOAD ON THE
CHQ PROPERTY AND CONSTRUCTION RESOURCES WEBSITE**

*Printed copies of the Architectural and Land Use Regulations can be
purchased from the Campus Planning Office for a \$10 printing fee.*

Website link: www.chq.org/construction-resources



United Church of Christ Society

HQ 2nd Floor Bathroom Remodel
6 Bowman Avenue
Chautauqua NY 14722.



General Notes:

- All interior partitions are wood stud and 1/2 GWB construction unless noted otherwise.
- All dimensions are from face of stud or face of existing construction unless noted otherwise
- Provide and install sound attenuation batt insulation in all rated partitions.
- Maintain all required fire separations when penetrating rated assemblies
- Do not cut or patch structural members in a manner that will compromise the load capacity of any member.

Applicable Codes:

2023 Residential Code of New York State
Single Family Home
2023 Fire Code of New York State
2023 Plumbing Code of New York State
2023 Mechanical Code of New York State
Village of Mayville NY Zoning Code

DRAWING INDEX

CS-1	Cover Sheet
Interior Upstairs Bathrooms	
A-1	Project Floor Plan
A-2	West Bath Elevations
A-2.1	East Bath Elevations
A-2.2	Hall Elevations
A-3	Cabinets
A-10	Renderings
A-11	Color Palette
A-11.1	Color Palette 2
A-20	Demo Plan
A-21	ARB Windows

MAYSHARK
ARCHITECTURE | DESIGN | CONSTRUCTION

5073 West Lake Road
Mayville, NY 14757
Phone: (716) 386-6228
Fax: (716) 386-4159
Email: mbi@mayshark.com

It is a violation of the law for any person, unless acting under the direction of a licensed design professional, to alter this document in any way.

Chautauqua United Church of Christ Society

6 Bowman Avenue

Chautauqua NY 14722

Drawn By	RAP
Date	12/11/23
No.	Date

Cover Sheet

CS-1

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Email: mbi@mayshark.com

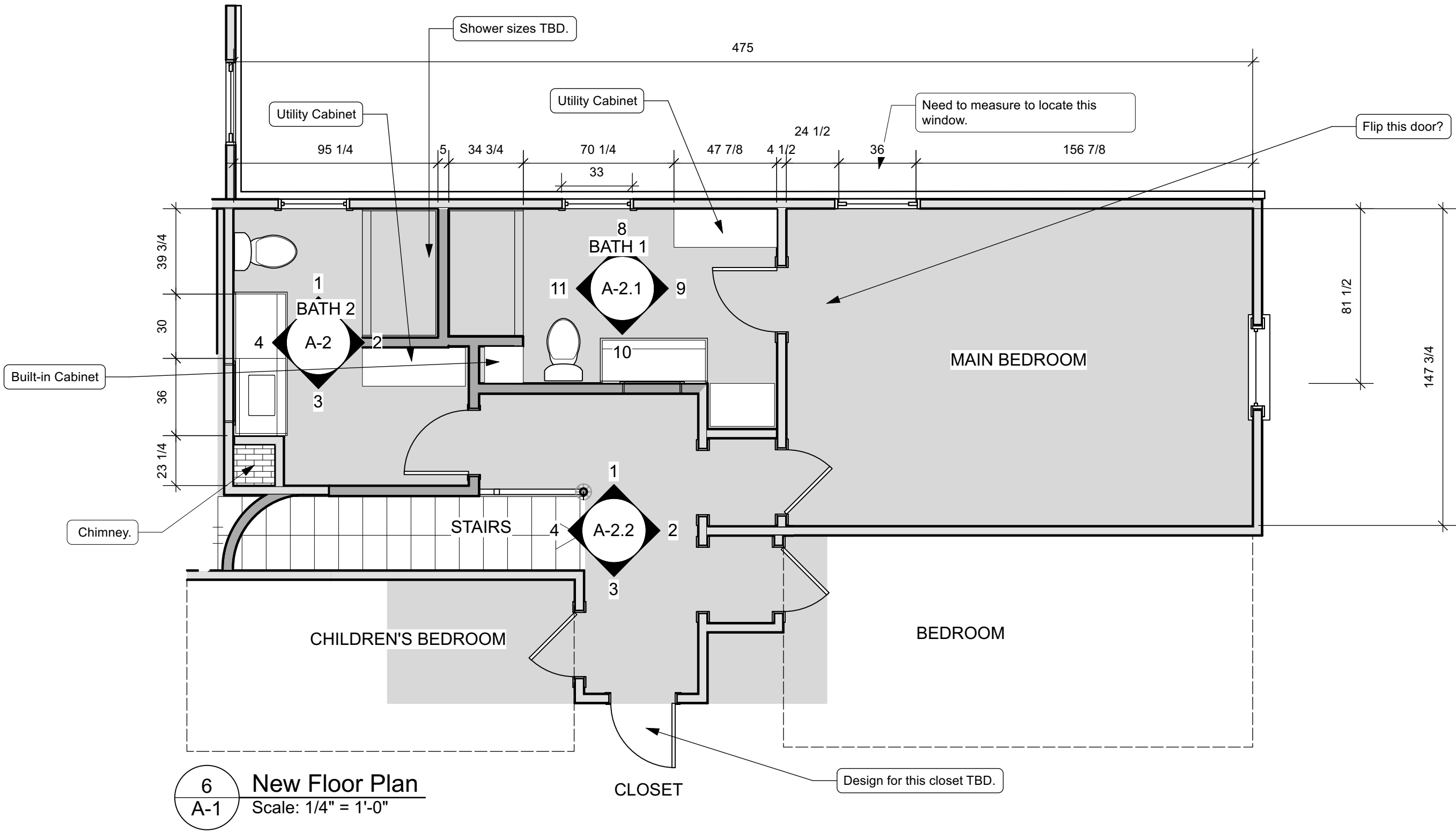
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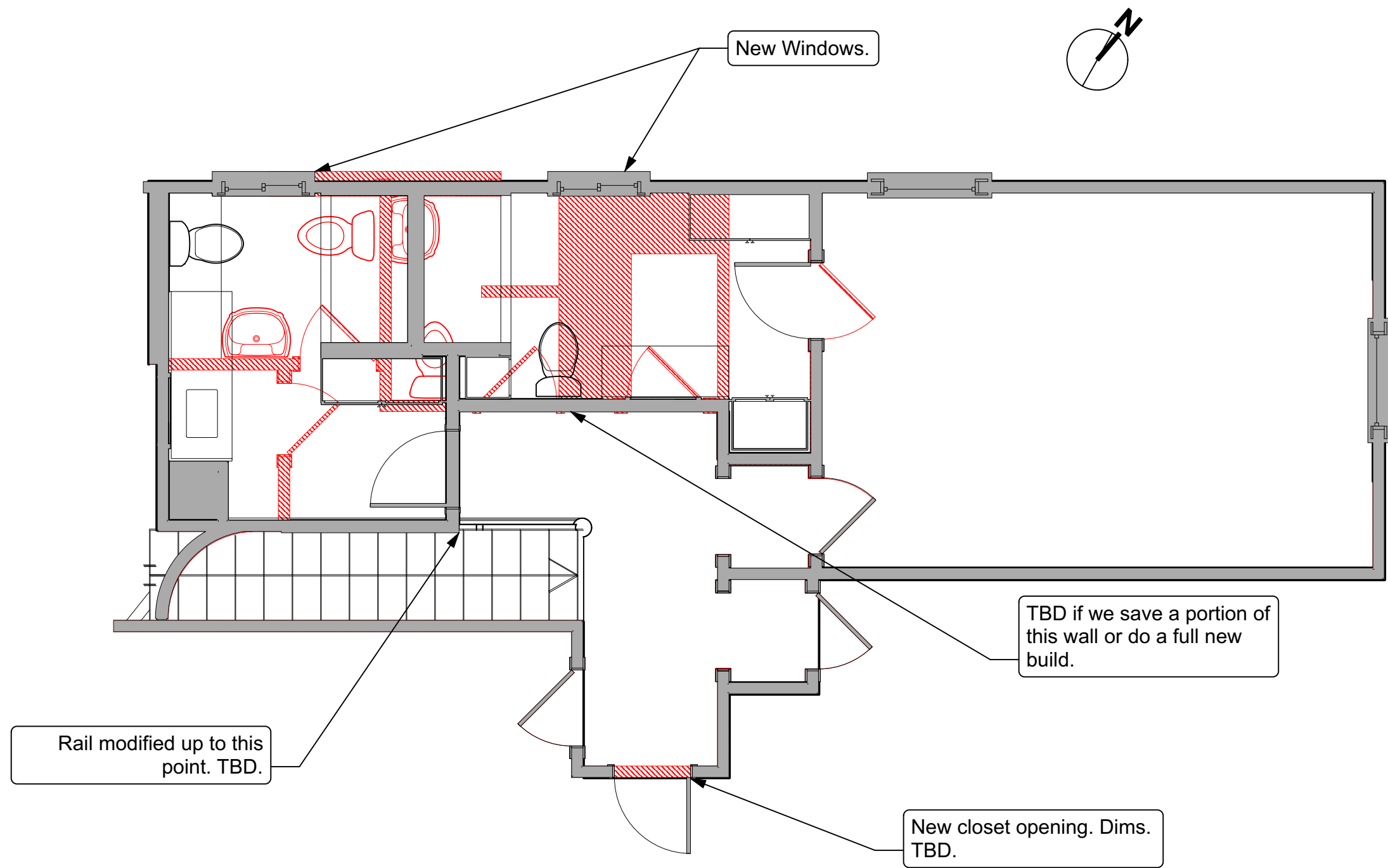
Chautauqua United Church of Christ Society
6 Bowman Avenue
Chautauqua NY 14722

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Date	12/11/23
No.	Date

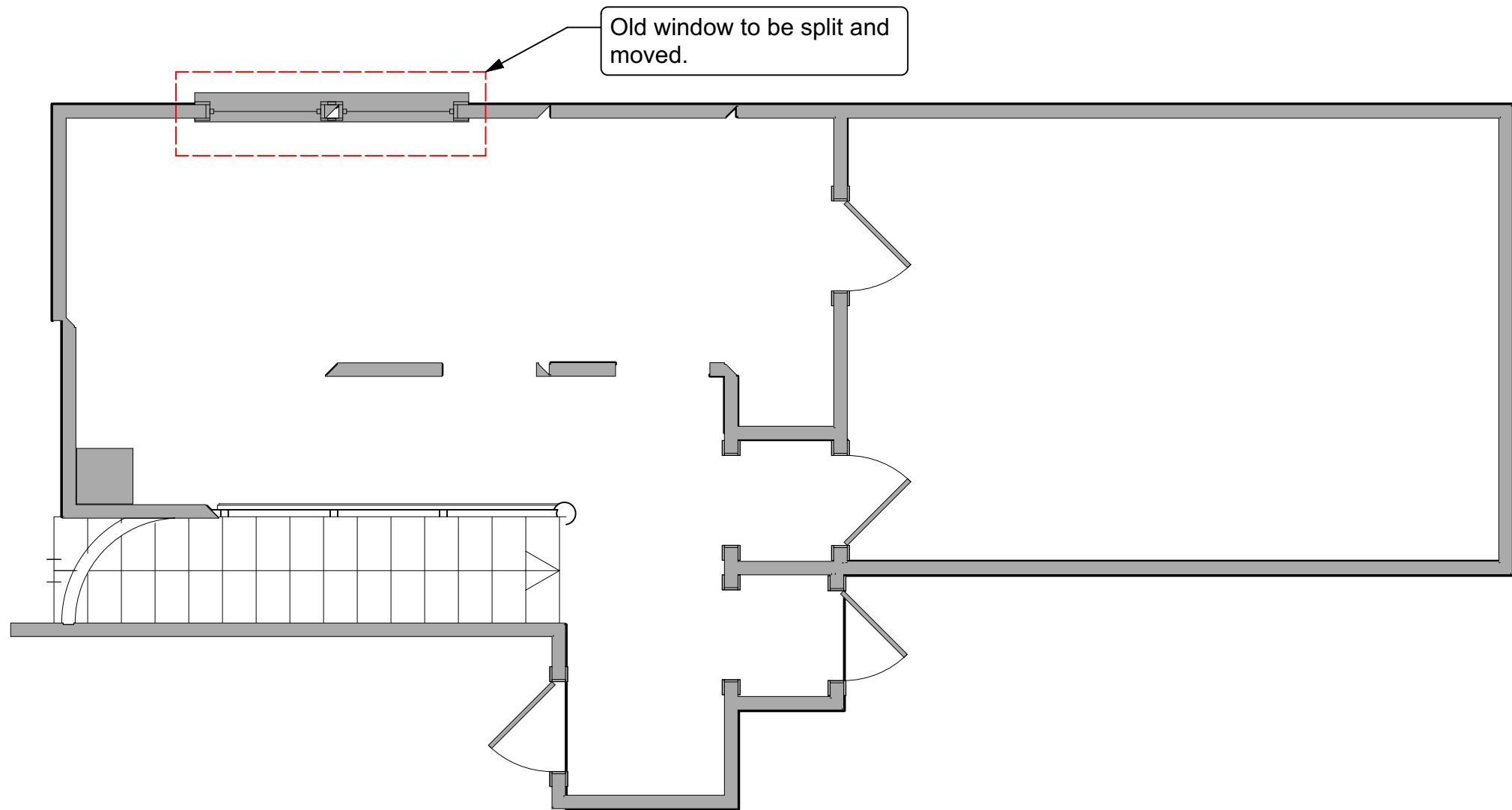
Project Floor Plan

A-1

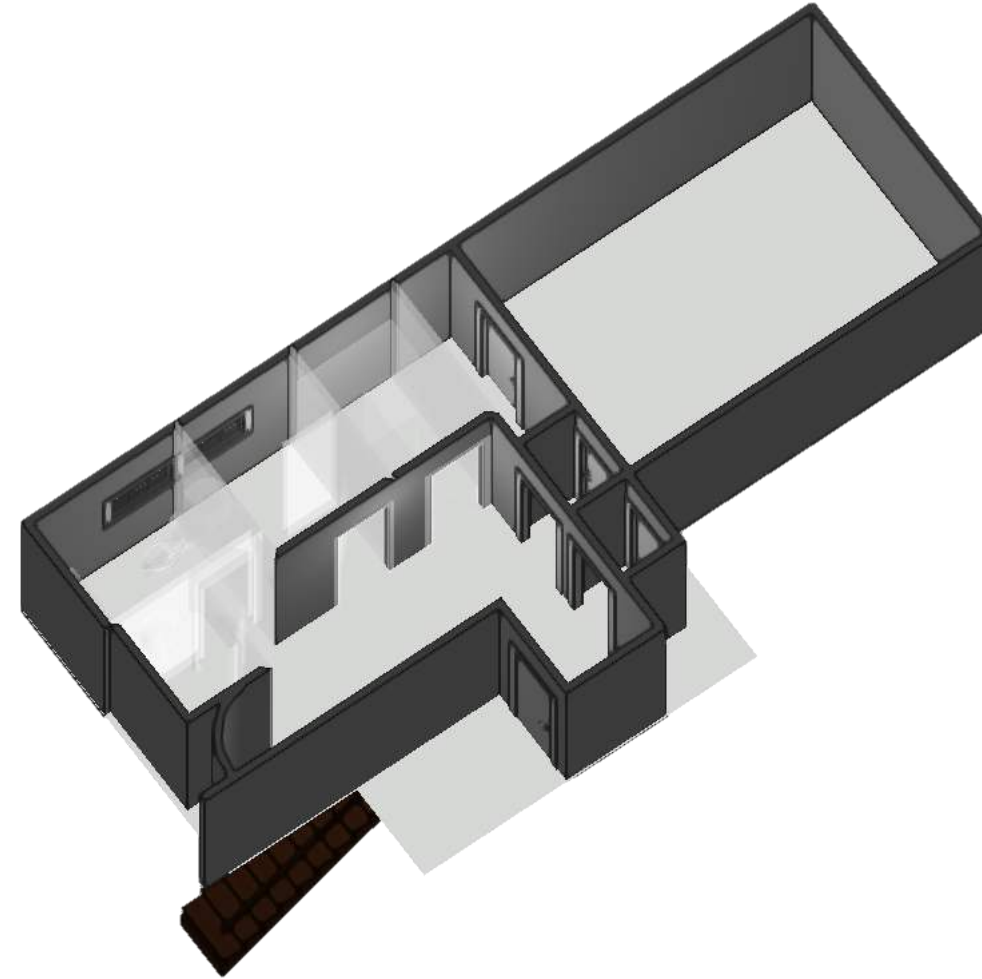




4 **Current Conditions Overlaid Future Build**
Scale: 1/4" = 1'-0"



6 **Walls Removed**
Scale: 1/4" = 1'-0"



1 **Walls Removed Perspective**
Scale: 1/8" = 1'-0"

General Notes

1. Remove cabinets from hall closet.
2. We will be removing windows between the current bathrooms.
3. Remove shelving around chimney in closet at the railing.
4. Railing will be cut back to meet new wall length. Dims. TBD.
5. New door to be cut into South Hall for new closet.



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Chautauqua United Church of Christ Society
6 Bowman Avenue
Chautauqua NY 14722

Drawn By RAP
Date 12/11/23

No. Date

Demolition Plan

A-20

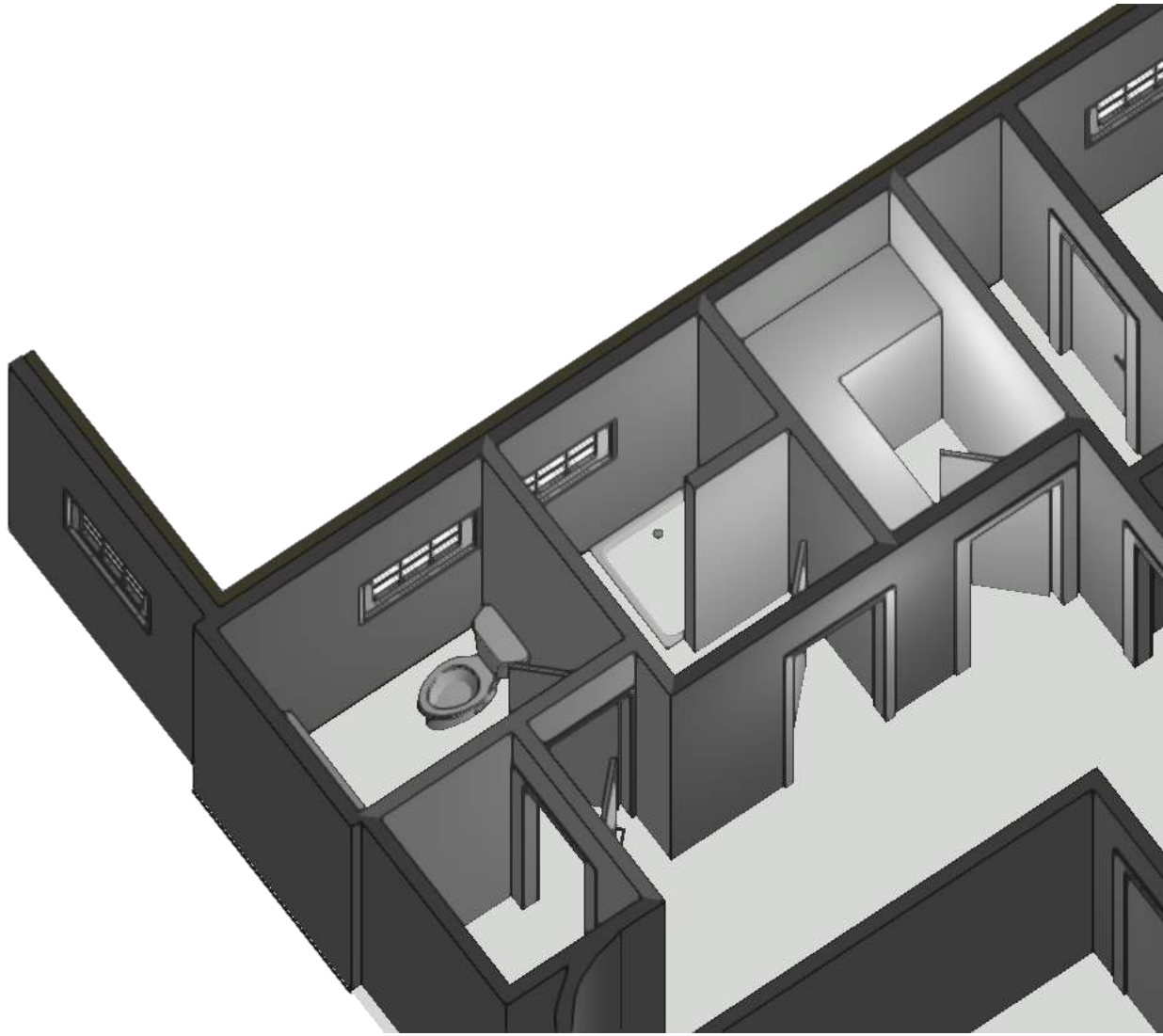
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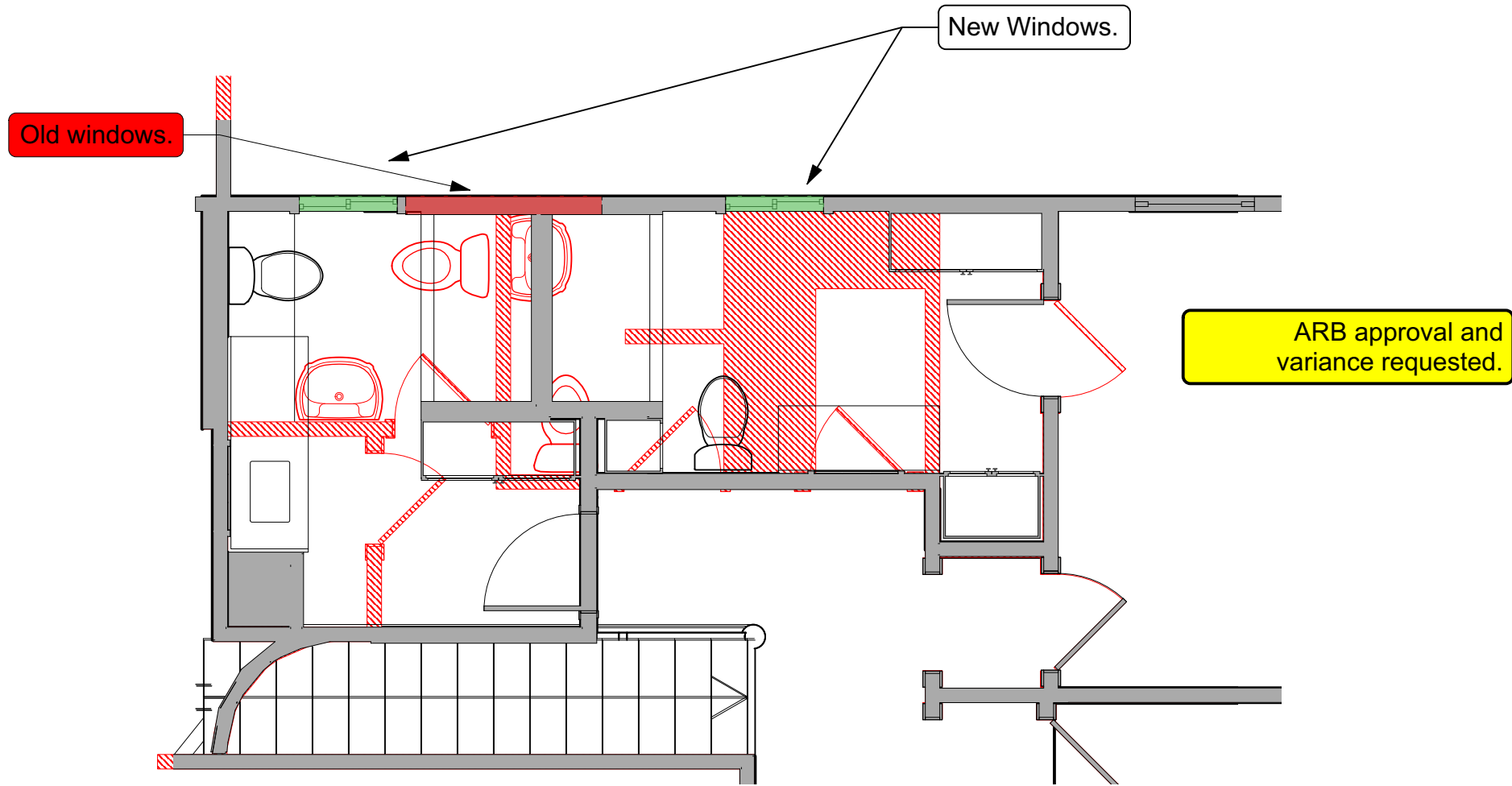
5 Current Windows
A-21 Scale: 1/8" = 1'-0"



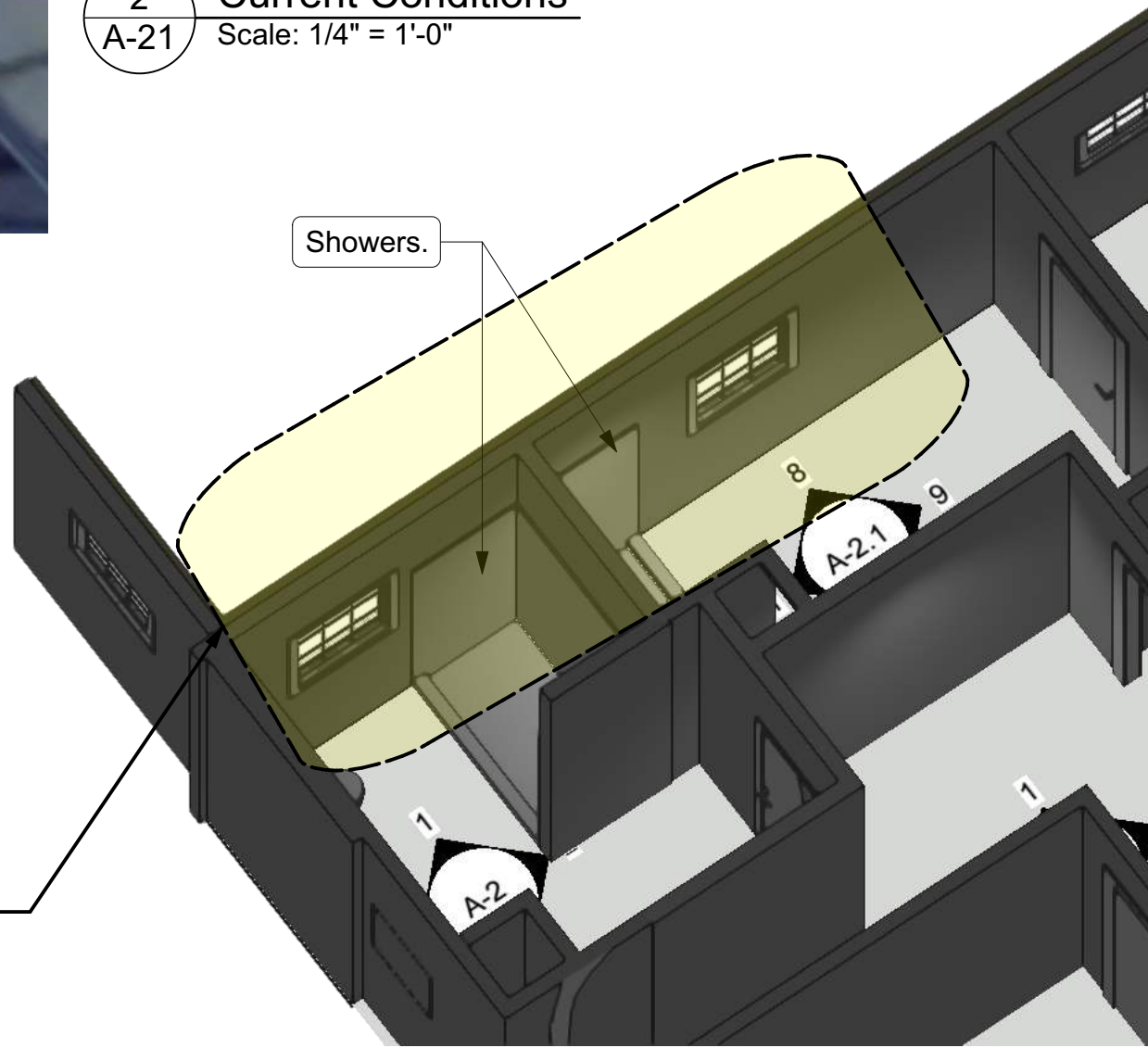
4 New Windows
A-21 Scale: 1/8" = 1'-0"



2 Current Conditions
A-21 Scale: 1/4" = 1'-0"



3 Current Conditions Overlayed Future Build
A-21 Scale: 1/4" = 1'-0"



1 New Floor Plan
A-21 Scale: 1/4" = 1'-0"

- General Notes
1. We will be removing windows between the current bathrooms.
 2. Replacing windows with same style, modern insulated type. Marvin Windows.
 3. ARB approval and Variance requested.



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Drawn By	RAP
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No.	Date

ARB Windows
A-21
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