



OFFICE OF CAMPUS PLANNING & OPERATIONS

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

March 28th 2024

Dear Chautauquan,

The owner of 40 Scott, the African American Heritage House, is requesting to come before the Architectural Review Board with a design for new construction as an addition to their Building. This scope of work proposes new construction that crosses a lot line in common ownership, and encroaches upon the property's 3'-0" side yard setback. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variations/Requests being considered:

1. Variance for new construction crossing a Lot line separating two Lots in common ownership (Architectural and Land Use Regulations Section 5.4.1);
2. Variance for construction encroaching upon a 3'-0" side yard setback (Architectural and Land Use Regulations Section 4.4.6);

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project's scope of work may be reviewed online at the Property Owner and Construction Resources Page at the following link:

[Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](#)

The Architectural Review Board will meet on **May 2nd 2024 at 12:00pm Noon in the Turner Community Center Conference Room**. Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at arb@chq.org until 12:00pm noon the day before on May 1st 2024.

PO Box 28 • Chautauqua, NY 14722
716.357.6245 • 716.357.9014 (fax)
ARB@chq.org • chq.org

Thank you for your time!

Respectfully,



Ryan B. Boughton, Assoc. AIA

Administrator of Architectural and Land Use Regulations

rboughton@chq.org | o: 716.357.6245

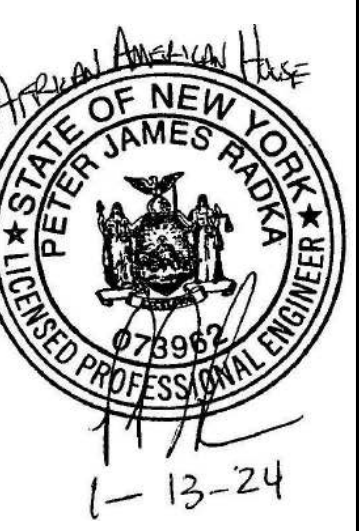
AFRICAN AMERICAN HERITAGE HOUSE GREATROOM ADDITION

40 SCOTT AVENUE, CHAUTAUQUA, NY 14722

OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCROACHING UPON THE SIDE YARD SETBACK (2/22/2024)

DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LANCASTER, NY 14090
(405) 238-7422

DESIGNER:



ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

GENERAL NOTES
AFRICAN AMERICAN HERITAGE HOUSE
40 SCOTT AVENUE
CHAUTAUQUA, NY 14722

DRAWN:
JOE FLIKKEMA
DATE:
1/16/2024
SHEET # : G1
1 OF 14

SYMBOL LEGEND

	NEW Poured CONC. FDN WALL CONSTRUCTION
	NEW CMU FDN WALL CONSTRUCTION
	NEW WOOD STUD WALL CONSTRUCTION
	EXISTING WOOD STUD WALL CONSTRUCTION
	WALLS TO BE REMOVED
	NEW SINGLE DOOR
	NEW DOUBLE DOOR
	NEW SLIDING DOOR
	NEW BI-FOLD DOOR
	NEW SINGLE POCKET DOOR
	DOOR TO BE REMOVED
	WINDOW TO BE REMOVED

	BUILDING SECTION
	WALL SECTION
	EXTERIOR ELEVATIONS
	ELEVATION INDICATOR
	EGRESS WINDOW
	SMOKE DETECTOR/ALARM HARDWIRED INTERCONNECTED W/BATTERY BACKUP
	SMOKE/CO DETECTOR/ALARM HARDWIRED INTERCONNECTED W/BATTERY BACKUP
	BATHROOM EXHAUST FAN/LIGHT COMBO, DUCTED TO THE EXTERIOR
	HEAT DETECTOR INTER CONNECTED WITH BATTERY BACK UP

	SHINGLE ROOFING
	C.M.U.
	LAP SIDING
	CONCRETE
	EARTH
	GRAVEL
	BATT INSUL.
	RIGID INSUL.
	SPRAY INSULATION
	STONE VENEER

CONSTRUCTION NOTES

1. Install electric, heating, and plumbing according to NYS Building Code.
2. These plans do not show all the standard details used during construction. New York State Building code standards and practices should be followed.
3. Footing design is based on normal soil conditions with an allowable load of 1500 psf. If substandard soil (soft clay or silt) is encountered the designer should be contacted.
4. Design is based on a 48 psf ground snow load with applicable modifications. Total Roof design load is 89 psf. Deck design load is 10 psf dead and 40 psf live.
5. Minimum 28 day compressive strength is 3000 psi for concrete footers and walls and 4000 psi for concrete slabs.
6. Maximum U value for new doors and windows to be .30.
7. Minimum floor to sill window installation height without safety glazing is 18".
8. LVLs for headers are to be Trus Joist Microlam, 1.9E, 2600 psi or better.
9. All lumber to be SPF #2 or better.
10. Bridging should be installed at mid span of ceiling joists/rafters.
11. For pressure treated lumber applications use hot dipped galvanized G185 connectors and hardware or stainless steel.

"Contact engineer of record (Rock Hill Engineering) in the event of any structural changes to that shown on the plan"

Contractor to field verify all dimensions. Ensure solid blocking to beams for all point loads new and existing.

Contractor shall protect all adjacent structures during excavation and construction of foundation wall.

WINDOW SCHEDULE

MARK	SIZE	TYPE	RO	REMARKS	HEADER	QTY
W1	AN31	AWNING	3'1" X 1'6"	CUPOLA, CAN BE FIXED	(3) 2 X 6 W/ 2 X 6 CAP, (1) JACK	1,2
W2	(3) 3656	DBL	11'0" X 5'6"	FIELD MULLED	(3) 2 X 12 W/ 2 X 6 CAP, (2) JACK	3
W3						

* HEADER IS TOP OF WALL (3) 11'-1/4" LVL, FRONT HEADERS ARE TOP OF WALL TRIPLE ROOF RAFTERS SEE ROOF FRAMING PLAN

DOOR SCHEDULE

MARK	SIZE	TYPE	HINGE	REMARKS	HEADER	QTY
D1	11'0" X 8'0"	EXT	SLIDER	INSULATED PATIO DOOR	(3) 2 X 12 W/ (3) JACK	1
D2	6'0" X 6'8"	INT	N/A	FINISHED OPENING IN EXISTING WALL	(3) 2 X 12 W/ 2 X 6 CAP, (3) JACK	1
D3						
D4						

DESIGN LOAD INFORMATION

DECK DESIGN LOAD 40 PSF LIVE/10 PSF DEAD
DESIGN WIND SPEED 90 MPH (ASD), 115 MPH (ULTIMATE)
SEISMIC DESIGN CATEGORY "B", SITE CLASS "D"
UNKNOWN SOIL TYPE ALLOWABLE SOIL BEARING 1500 PSF
2020 INTERNATIONAL BUILDING CODE

SITE ELEVATION UP TO 1375 FT
GROUND SNOW LOAD 48 PSF
CT=1.1, CE=1.0, I=1.0, CS=1.0
DESIGN SNOW LOAD = 37 PSF
CEILING DEAD LOAD = 7 PSF
ROOF DEAD LOAD = 15 PSF
GREEN ROOF LOAD = 30 PSF
TOTAL ROOF DESIGN LOAD 89 PSF

NEIGHBORHOOD TRADITIONAL

FAR CALCULATIONS:
1ST FLOOR 1919 SF
2ND FLOOR 803
THIRD 432
BASEMENT N/A
TOTAL 3154 SF
LOT 4461 SF
3154/4461 = .71

ISR CALCULATIONS:
FOOT PRINT 1919
PORCH/ENTRY 660
DRIVE WAY N/A
WALKS 185
TOTAL: 2764-1,050 = 1,714
LOT 4461
1714/4461 = .38

ADDITION BUILDING AREA:
FIRST FLOOR AREA 894 SF
TOTAL LIVING AREA 894 SF
TOTAL PORCH AREA 504 SF

GREEN ROOF OF 1,400 SF X 75% = 1,050 SF

* WALKS ARE DRY LAID BRICK

ABBREVIATIONS

& @ AFF ALUM ANSI	AND AT ABOVE FINISHED FLOOR ALUMINUM AMERICAN NATIONAL STANDARDS INSTITUTE	EQ EXP EXIST. EXT. F.E. FDN FF FIN. F.O. FTG. GA. G.C. G.W.B. GYP.	EQUAL EXPANSION EXISTING EXTERIOR FIRE EXTINGUISHER FOUNDATION FACTORY FINISH FINISH(ED) FACE OF FOOTING GAUGE GENERAL CONTRACTOR GYPSUM WALL BOARD HIGH HOSE BIBB HARDWARE HOLLOW METAL HDR HT. H.W. I.D. I.E. INT INSUL. JAN.	JT. LB LVL MATL. MAX. MFR. MIN. M.O. MOD MTD MTL NECY N.I.C. NO. N/A O.C. O.D. OPP. P. LAM. PART. PLYWD. P.O.S.	JOINT POUND LAMINATED VENEER LUMBER MATERIAL MAXIMUM MANUFACTURER MINIMUM MASONRY OPENING MODIFIED MOUNTED METAL NECESSARY NOT IN CONTRACT NUMBER NOT APPLICABLE ON CENTER OPPOSITE PARTITION, PARTIAL PLYWOOD POINT OF SALE	PTD P.L RECEP. REF. REINF. REQ'D R.O. SQ. FT. SCW S.S. SHT. SHTS. SIM. SPECS STL. T & G TBD TELE. THK THRESH. T.O.	PAINTED PLATE RECEPTACLE REFER, REFERENCE REINFORCED REQUIRED ROUGH OPENING SQUARE FEET SOLID CORE WOOD STAINLESS STEEL SHEET SHEETS SIMILAR SPECIFICATIONS STEEL TONGUE AND GROOVE TO BE DETERMINED TELEPHONE THICKNESS THRESHOLD TOP OF	T.S. TJI TYP UON VCT VIF W W/ WD WT WWF XPS	TRANSITION STRIP TRUSS JOIST I-JOIST TYPICAL UNLESS OTHERWISE NOTED VINYL COMPOSITION VERIFY IN FIELD WIDE WITH WOOD WATER WELDED WIRE FABRIC EXTRUDED RIGID POLYSTYRENE FOAM INSULATION
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A-9	SECTION
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A-11	SECTION/DETAILS
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S-1	SITE PLAN

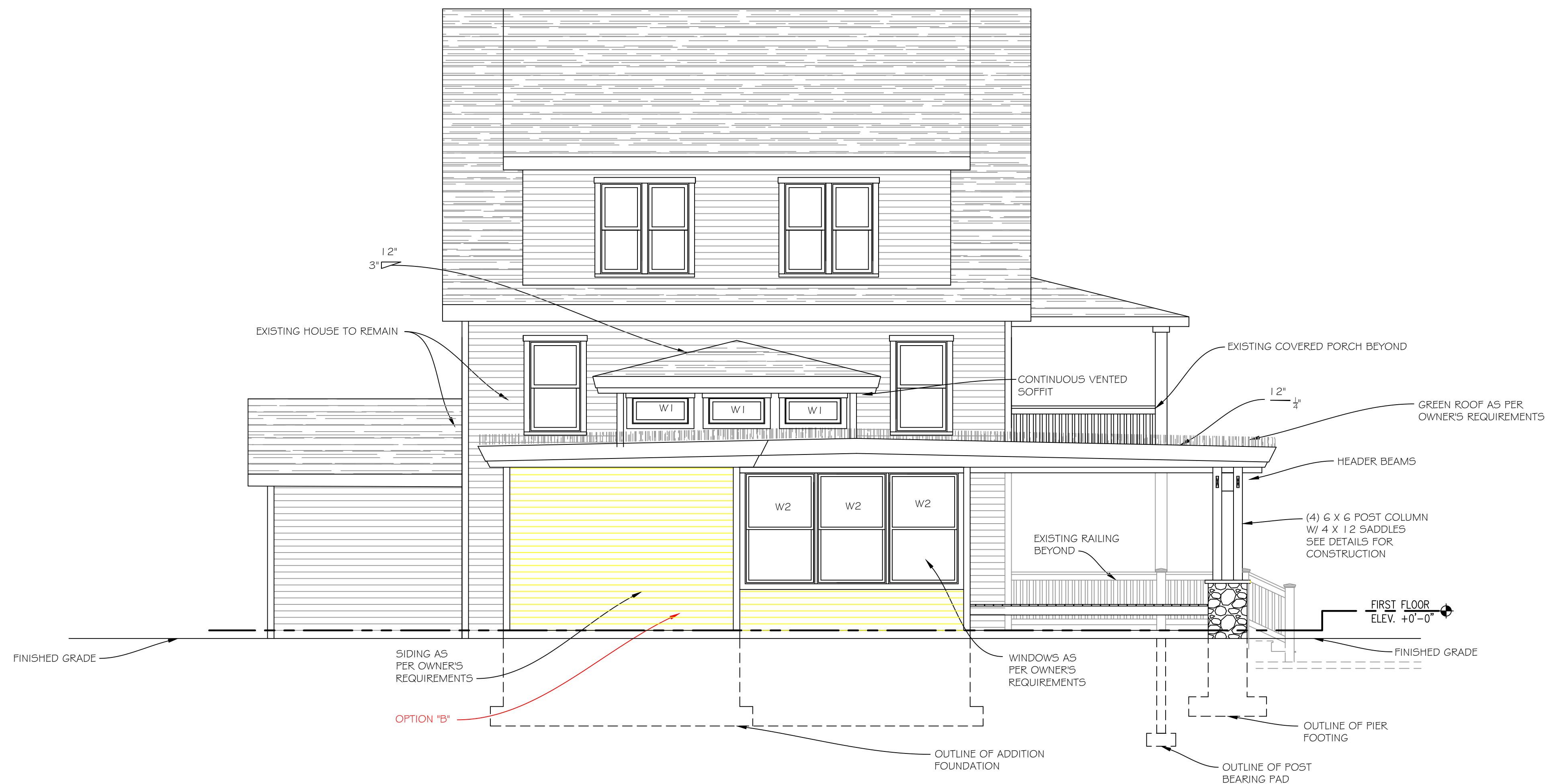


SOUTH ELEVATION

3/8" = 1'-0"

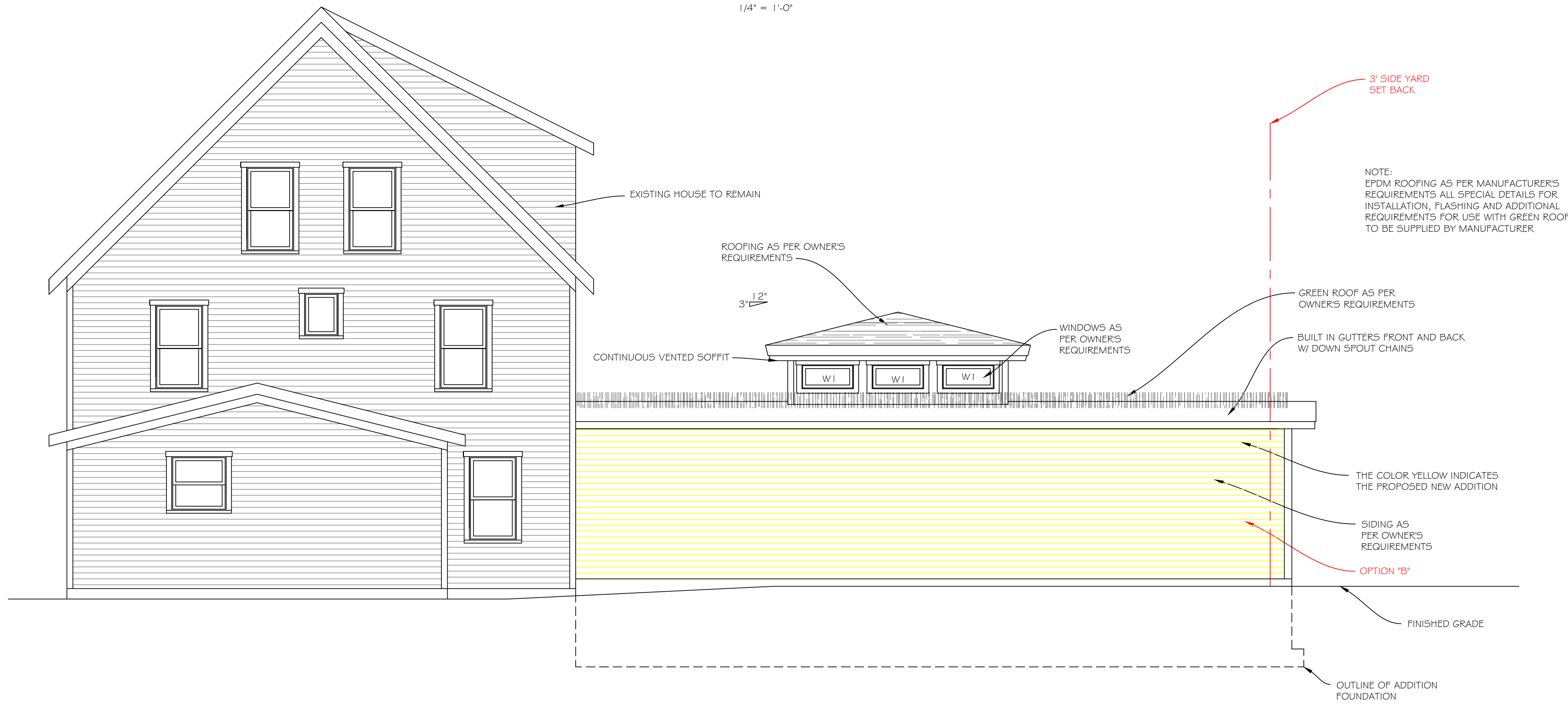
OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCROACHING UPON THE SIDE YARD SETBACK (2/22/2024)

DRAWN: JOE FLIKKEMA	
DATE: 1/6/2024	
SHEET # : A1	
2 OF 14	
DESIGNER:	<p>JOE FLIKKEMA SNOWY MOUNTAIN DESIGN 4655 BAKER STREET LANCASTER, NY 13950 (485) 238-7422</p>
ENGINEER:	<p>PETER RADKA ROCK HILL ENGINEERING, LLC 6349 KINGS CORNER ROAD PANAMA, NY 14767 (716) 782-2206</p>
<p>ELEVATIONS AFRICAN AMERICAN HERITAGE HOUSE 100 W. STATE ST. NEWburgh, NY 12551 CHAUTAUGUA, NY 14722</p>	



WEST ELEVATION

1/4" = 1'-0"



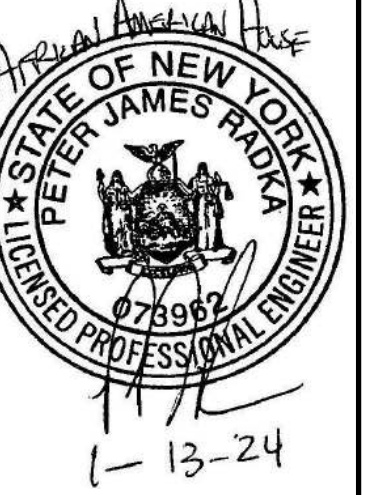
NORTH ELEVATION

1/4" = 1'-0"

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JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LANCASTER, NY 13950
(485) 238-7422



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PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
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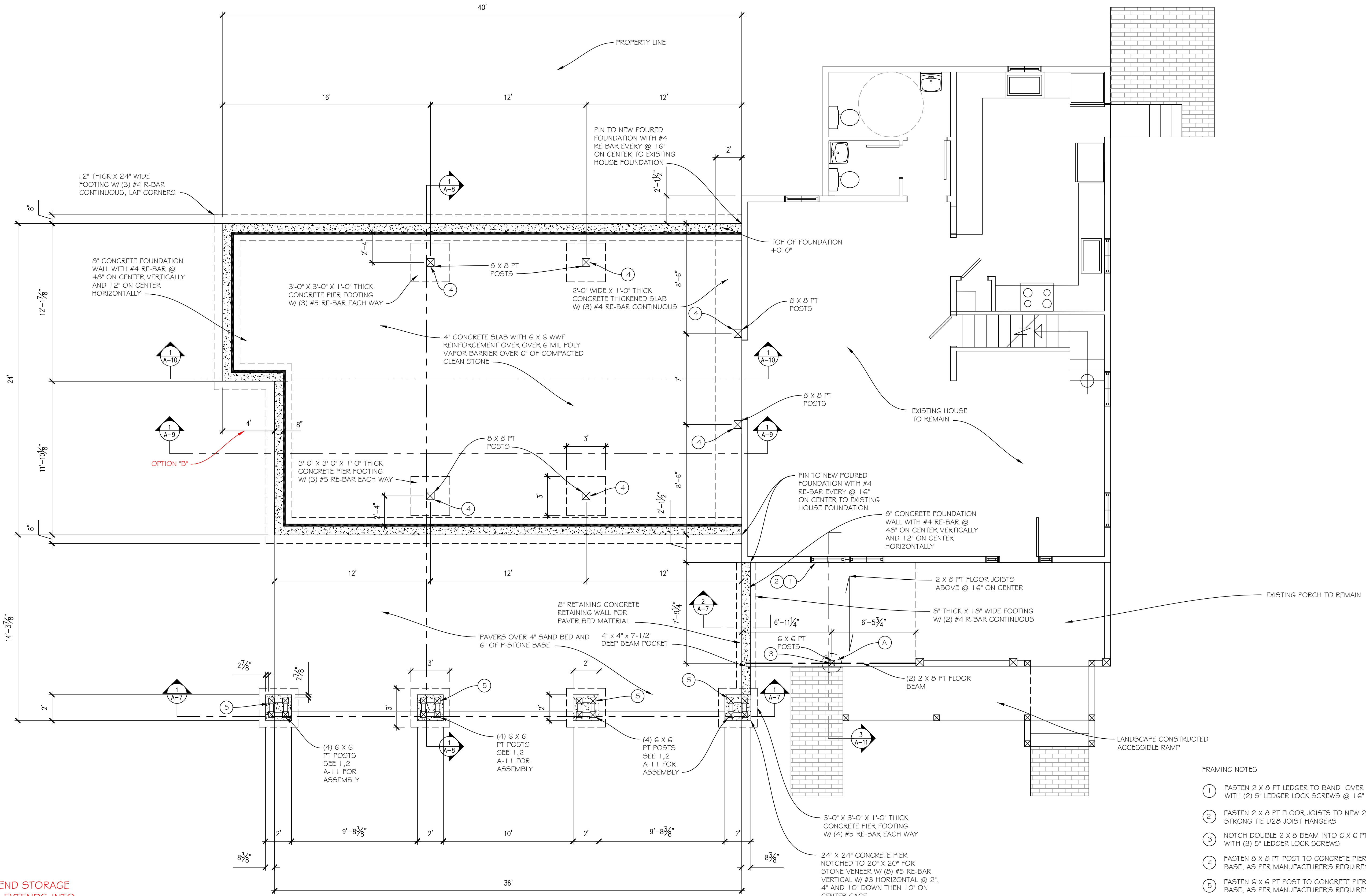
ELEVATIONS
AFRICAN AMERICAN HERITAGE HOUSE
1000 W. 1ST ST. N.Y. 14722
CHAUTAQUA, NY 14722

DRAWN:
JOE FLIKKEMA

DATE:
1/16/2024

SHEET # A2
3 OF 14

(A) 18" X 16" POURED CONCRETE UPLIFT BLOCK W/ (2) 12" LONG #4 RE-BAR PINS THROUGH POST @ 8" ABOVE 18" DIA X 8" THICK CONCRETE BEARING PAD FOR 6 X 6 PT POSTS



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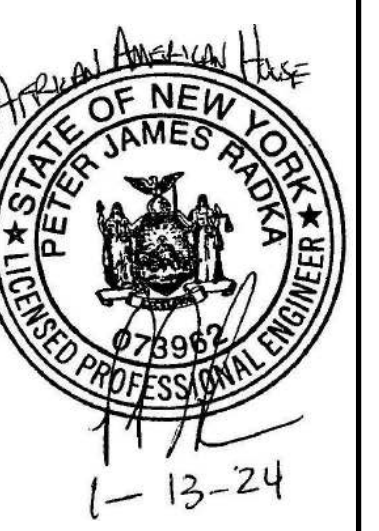
FOUNDATION PLAN

1/4" = 1'-0"

FRAMING NOTES

- 1 FASTEN 2 X 8 PT LEDGER TO BAND OVER SELF HEALING FLASHING WITH (2) 5" LEDGER LOCK SCREWS @ 16" ON CENTER
- 2 FASTEN 2 X 8 PT FLOOR JOISTS TO NEW 2 X 8 PT LEDGER WITH SIMPSON STRONG TIE U28 JOIST HANGERS
- 3 NOTCH DOUBLE 2 X 8 BEAM INTO 6 X 6 PT POST AS SHOWN ON SECTION, FASTEN WITH (3) 5" LEDGER LOCK SCREWS
- 4 FASTEN 8 X 8 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT68Z POST BASE, AS PER MANUFACTURER'S REQUIREMENTS
- 5 FASTEN 6 X 6 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT66Z POST BASE, AS PER MANUFACTURER'S REQUIREMENTS

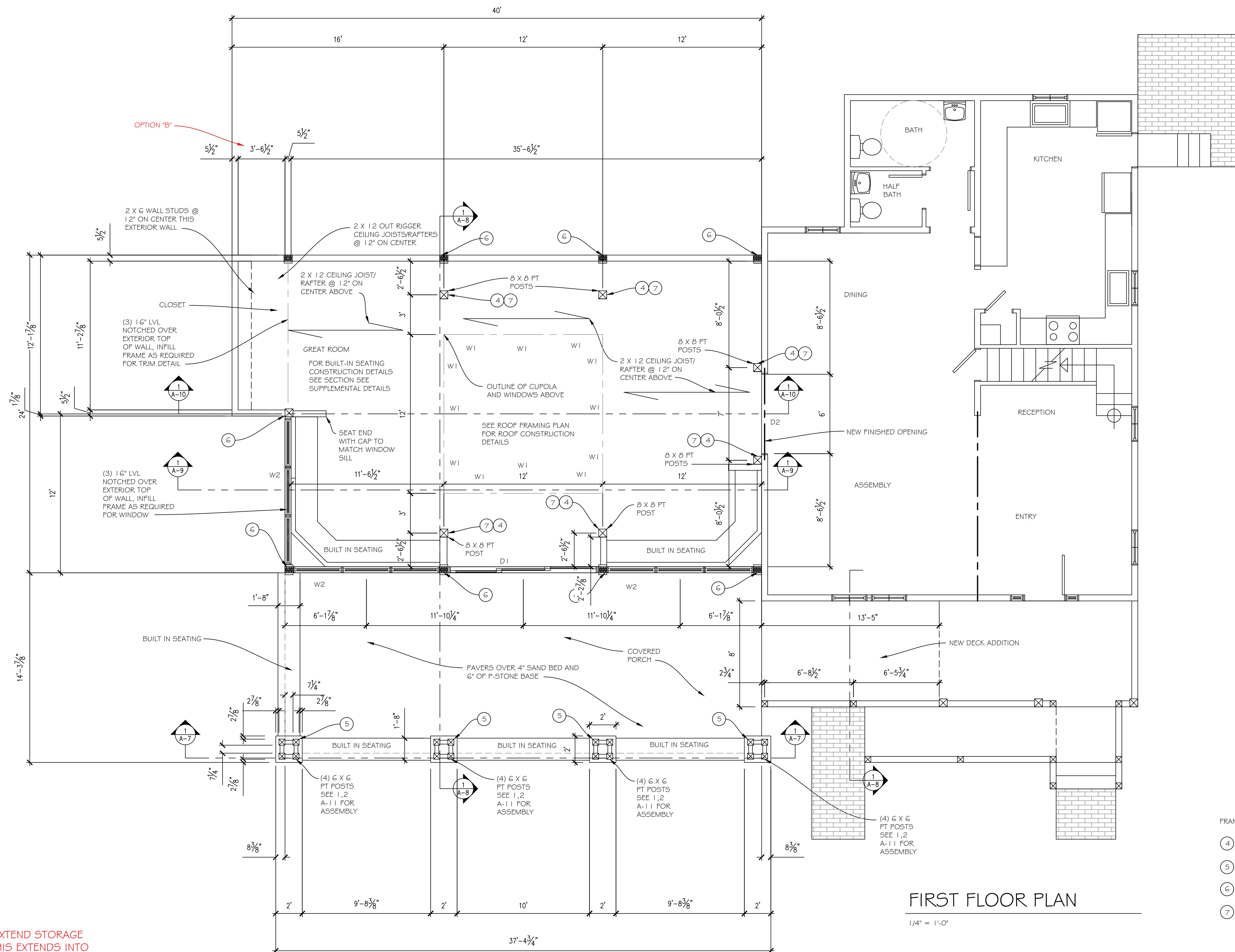
DESIGNER:
JOE FLIKKEMA
 SNOWY MOUNTAIN DESIGN
 4655 BAKER STREET
 LANCASTER, NY 13950
 (485) 238-7422



ENGINEER:
PETER RADKA
 ROCK HILL ENGINEERING, LLC
 6949 KINGS CORNER ROAD
 PANAMA, NY 14767
 (716) 782-2206

FOUNDATION PLAN
 AFRICAN AMERICAN HERITAGE HOUSE
 1000 N. NEW YORK ST.
 CHAUTAQUA, NY 14722

DRAWN:
 JOE FLIKKEMA
 DATE:
 1/16/2024
 SHEET # : A3
 4 OF 14



OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCROACHING UPON THE SIDE YARD SETBACK (2/22/2024)

FIRST FLOOR PLAN

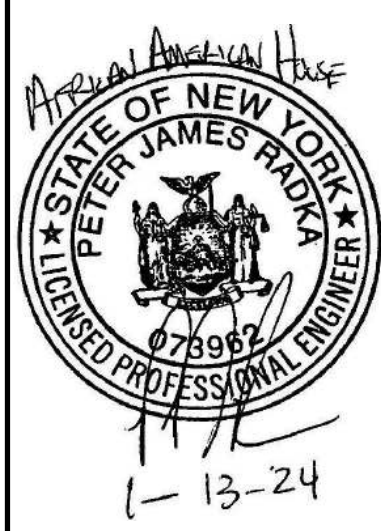
1/4" = 1'-0"

FRAMING NOTES

- ④ FASTEN 8 X 8 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT6&Z POST BASE, AS PER MANUFACTURER'S REQUIREMENTS
- ⑤ FASTEN 6 X 6 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT6&Z POST BASE, AS PER MANUFACTURER'S REQUIREMENTS
- ⑥ (5) GANG JACK STUD/POST FLOOR BEAMS W/ SOLID BLOCKING UNDER POST TO FOUNDATION (SEE FLOOR PLAN FOR LOCATIONS)
- ⑦ FASTEN 8 X 8 POST TO HEADER BEAM WITH 3" X 5" TENON AND 1" DIAMETER DOWEL

DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LANCASTER, NY 13950
(485) 238-7422

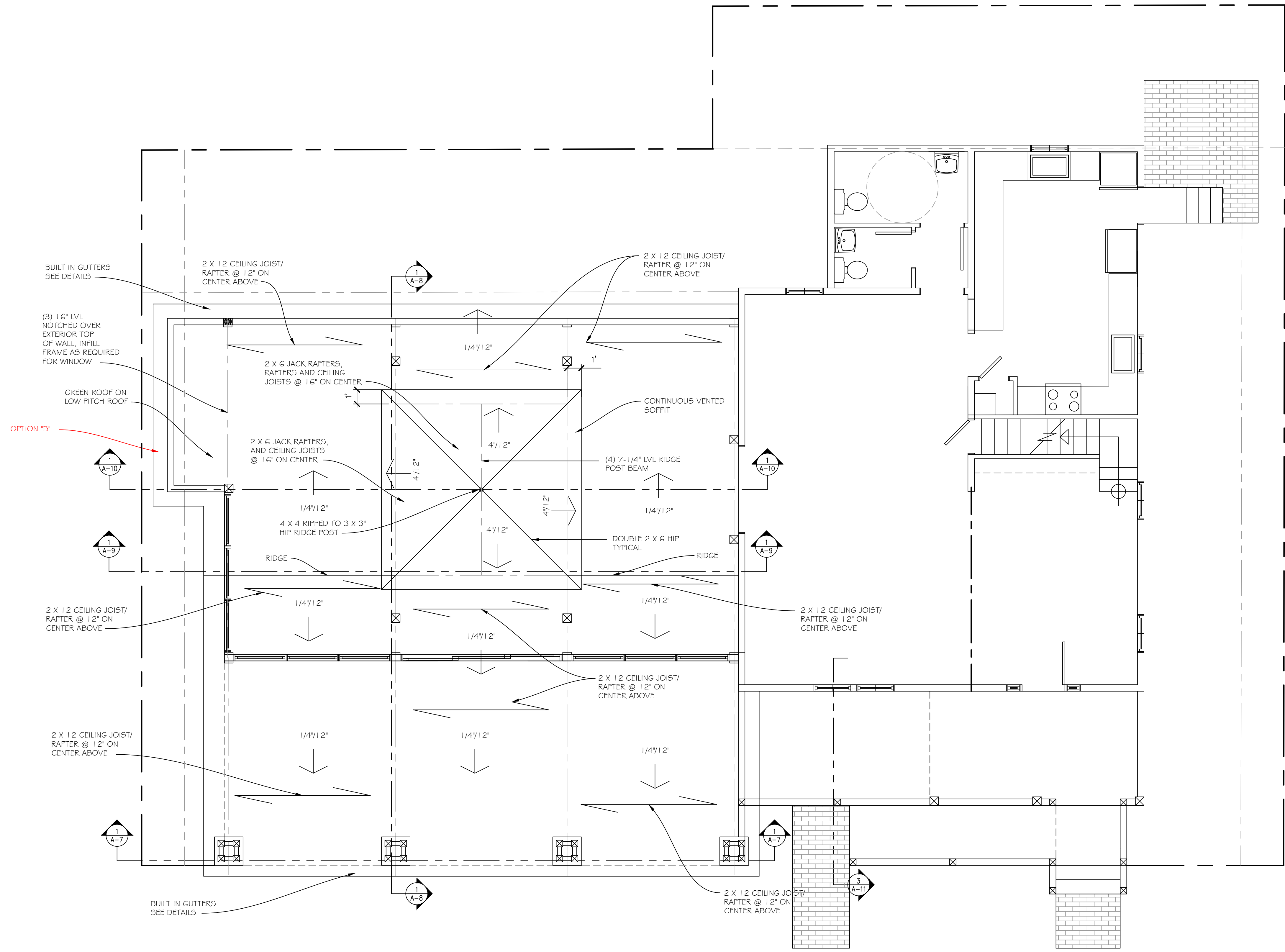


ENGINEER:

PETER RADKA
ROCK HILL ENGINEERING, LLC
6249 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

FIRST FLOOR PLAN
AFRICAN AMERICAN HERITAGE HOUSE

DRAWN: JOE FLIKKEMA
DATE: 1/16/2024
SHEET # A4
5 OF 14



OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCROACHING UPON THE SIDE YARD SETBACK (2/22/2024)

NOTE:
FOR ROOF CONSTRUCTION SEE
ROOF FRAMING PLAN AND SECTION
1-A8

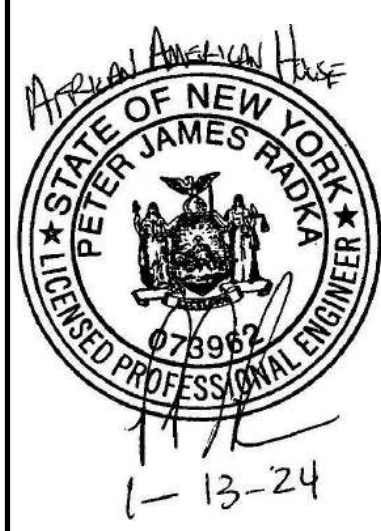
ROOF PLAN

1/4" = 1'-0"

DRAWN:
JOE FLIKKEMA
DATE:
1/6/2024
SHEET # : A5
6 OF 14

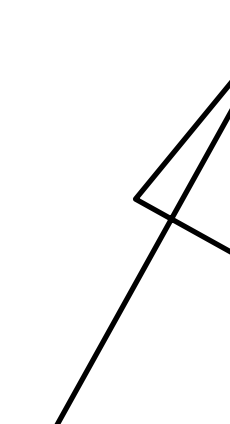
ROOF PLAN
AFRICAN AMERICAN HERITAGE HOUSE
1000 W. 11TH STREET
CHAUTAQUA, NY 14722

ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

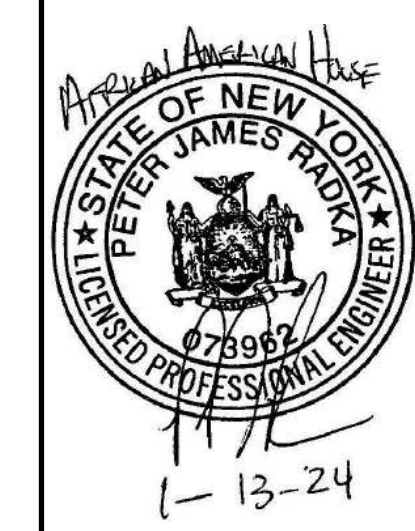


DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LANCASTER, NY 14090
(485) 238-7422

NORTH



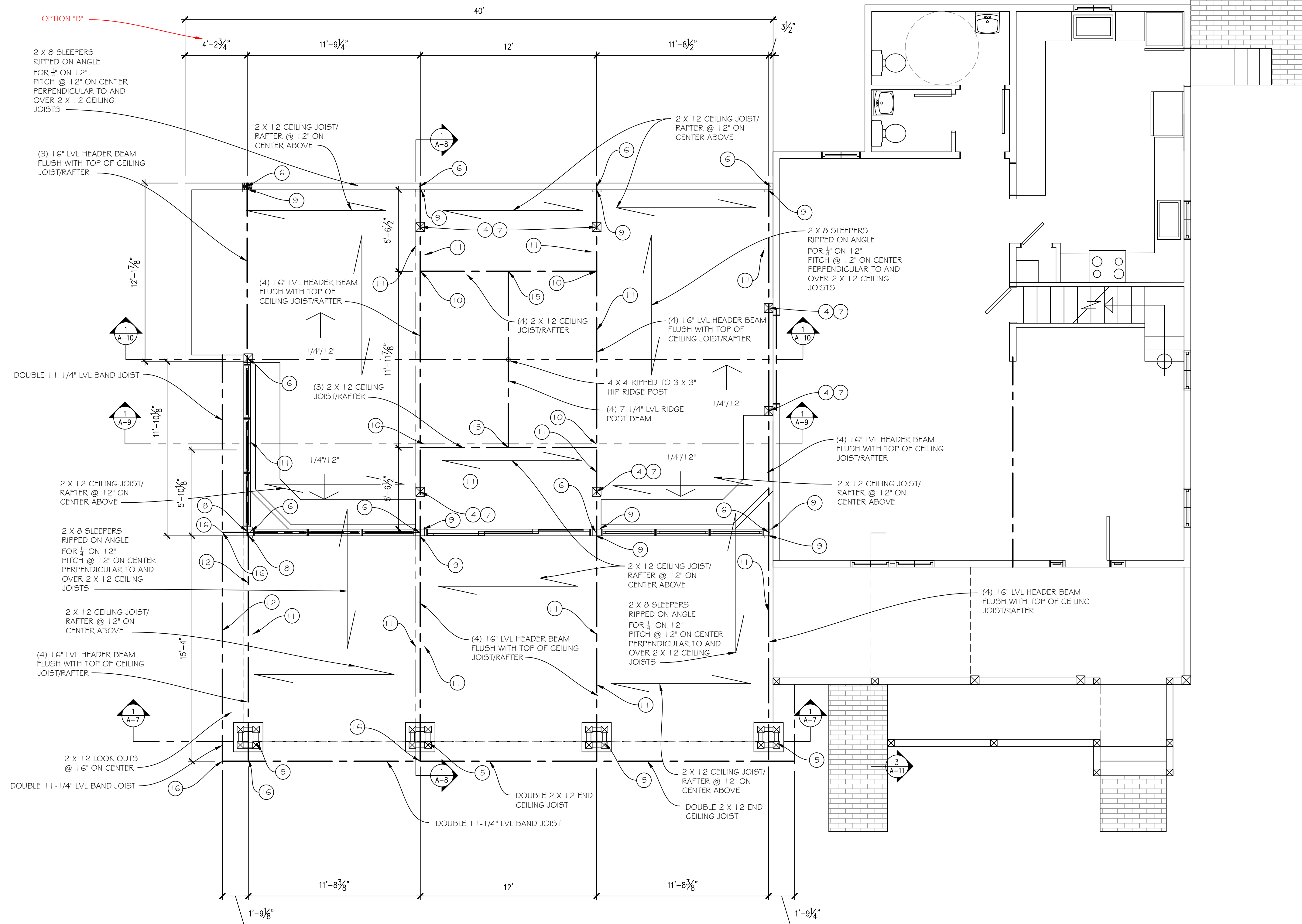
DESIGNER: JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LAKEWOOD, NY 14750
(425) 236-7426



ENGINEER: PETER RADKA
ROCK HILL ENGINEERING, LLC
6349 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

ROOF FRAMING PLAN
AFRICAN AMERICAN HERITAGE HOUSE
1000 W. 1ST ST.
CHAUTAQUA, NY 14722

DRAWN: JOE FLIKKEMA
DATE: 1/6/2024
SHEET # : AG
7 OF 14



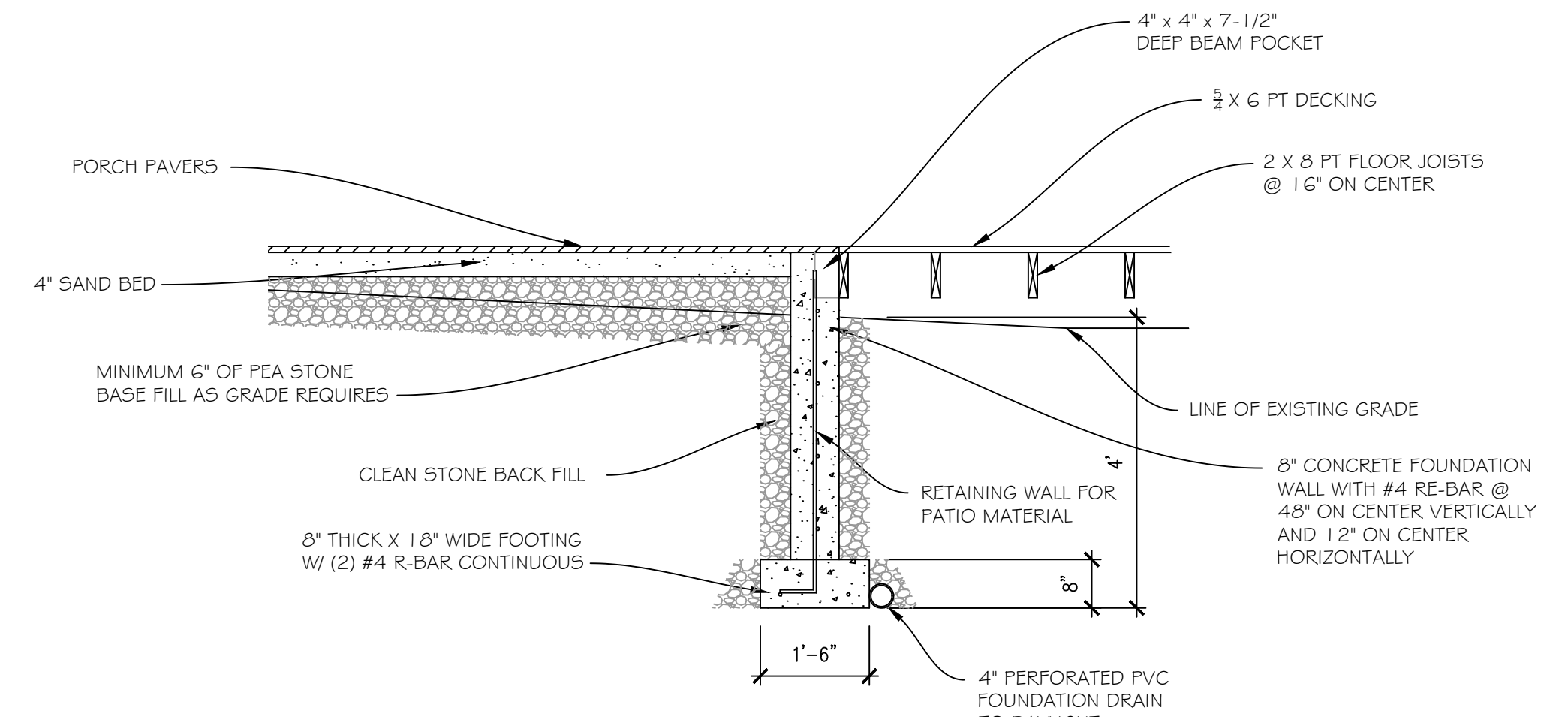
FRAMING NOTES

- ④ FASTEN 8 X 8 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT6&Z POST BASE, AS PER MANUFACTURER'S REQUIREMENTS
- ⑤ FASTEN 6 X 6 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT6&Z POST BASE, AS PER MANUFACTURER'S REQUIREMENTS
- ⑥ (5) GANG JACK STUD/POST FLOOR BEAMS W/ SOLID BLOCKING UNDER POST TO FOUNDATION (SEE FLOOR PLAN FOR LOCATIONS)
- ⑦ FASTEN 8 X 8 POST TO HEADER BEAM WITH 3" X 5" TENON AND 1" DIAMETER DOWEL
- ⑧ FASTEN HEADER BEAM TO (3) 1 1/4" LVL TOP OF WALL CEILING JOIST WITH SIMPSON STRONG TIE BEAM HANGERS HGUS7.25/14 FOR THE (4) FLY LVL AND HGUS5.50/14 FOR THE (3) FLY
- ⑨ NOTCH HEADER BEAM OVER TOP PLATE AS SHOWN IN SECTION, FASTEN WITH (3) 10" HEAD-LOCK SCREWS UP THROUGH PLATE
- ⑩ FASTEN TRIPLE 2 X 12 CEILING JOIST/RAFTER TO HEADER BEAM WITH SIMPSON STRONG TIE HUC212-3 JOIST HANGERS
- ⑪ FASTEN 2 X 12 CEILING JOIST/RAFTERS TO HEADER BEAM FLUSH WITH TOP WITH SIMPSON STRONG TIE U212 JOIST HANGERS
- ⑫ FASTEN 2 X 12 LOOKOUTS TO HEADER BEAM AND DOUBLE BAND JOIST FLUSH WITH TOP WITH SIMPSON STRONG TIE U212 JOIST HANGERS
- ⑬ FASTEN (4) 7-1/4" LVL RIDGE POST BEAM TO WALL FLUSH WITH BOTTOM OF CEILING JOISTS WITH SIMPSON STRONG HGUS7.25/10 BEAM HANGERS
- ⑭ FASTEN DOUBLE 1 1/4" LVL BAND JOIST TO HEADER BEAM WITH SIMPSON STRONG TIE HUC412 JOIST HANGERS

OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCROACHING UPON THE SIDE YARD SETBACK (2/22/2024)

ROOF FRAMING PLAN

1/4" = 1'-0"

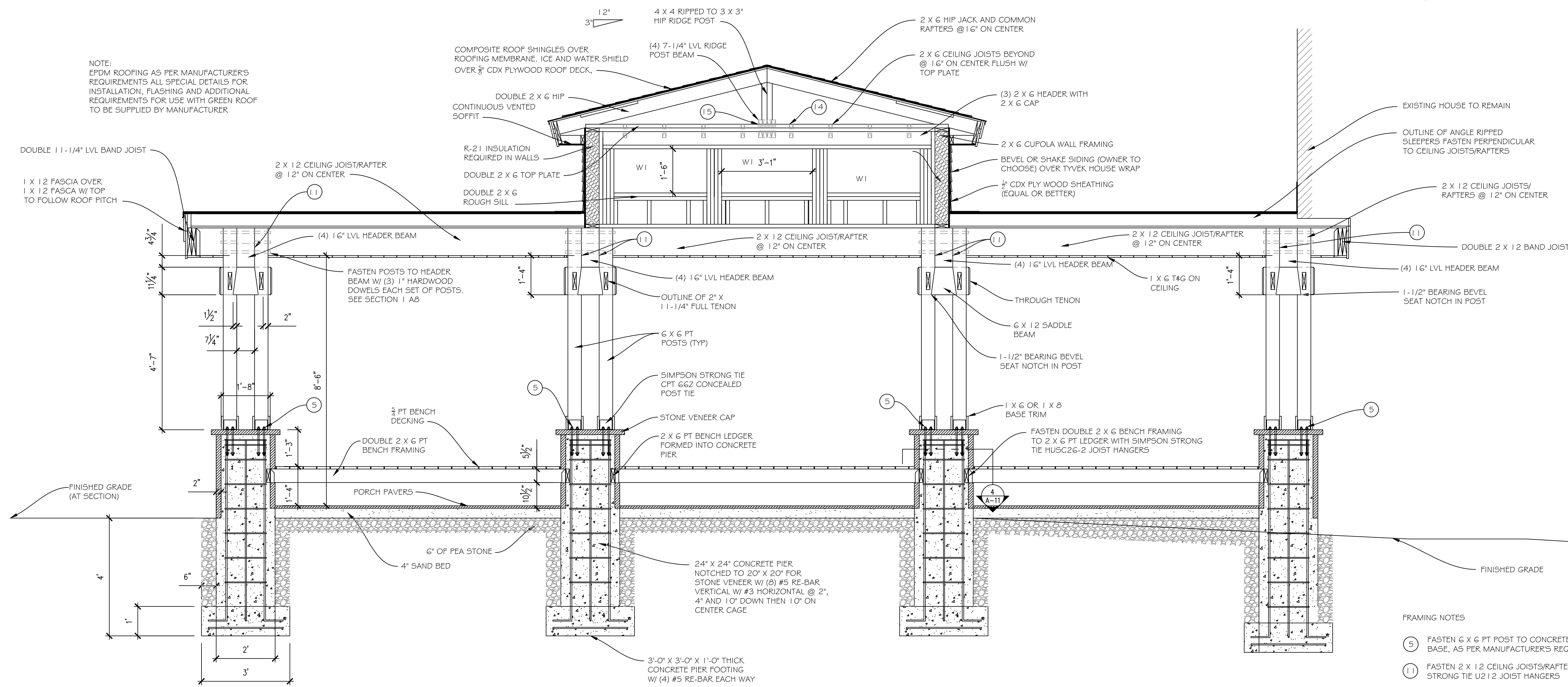
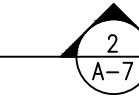


NOTE:
CUPOLA FRAMING SHOWN IS BEYOND THIS SECTION AND IS A SEPARATE DETAIL OF ITS OWN AND TO DEMONSTRATE HOW IT TIES IN TO THE HEADER-BEAMS OF THE STRUCTURE

NOTE:
CEILING INSULATION NOT SHOWN R-49 REQUIRED

SECTION

1/2" = 1'-0"



NOTE:
EPDM ROOFING AS PER MANUFACTURER'S REQUIREMENTS ALL SPECIAL DETAILS FOR INSTALLATION, FLASHING AND ADDITIONAL REQUIREMENTS FOR USE WITH GREEN ROOF TO BE SUPPLIED BY MANUFACTURER

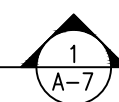
FRAMING NOTES

- 5 FASTEN 6 X 6 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT66Z POST BASE, AS PER MANUFACTURER'S REQUIREMENTS
- 11 FASTEN 2 X 1.2 CEILING JOISTS/RAFTERS TO HEADER BEAM FLUSH WITH TOP WITH SIMPSON STRONG TIE U212 JOIST HANGERS
- 14 FASTEN 2 X 6 CEILING JOISTS TO HEADER FLUSH WITH TOP WITH SIMPSON STRONG TIE U26 JOIST HANGERS
- 15 FASTEN (4) 7-1/4" LVL RIDGE POST BEAM TO WALL FLUSH WITH BOTTOM OF CEILING JOISTS WITH SIMPSON STRONG HGU57.25/10 BEAM HANGERS

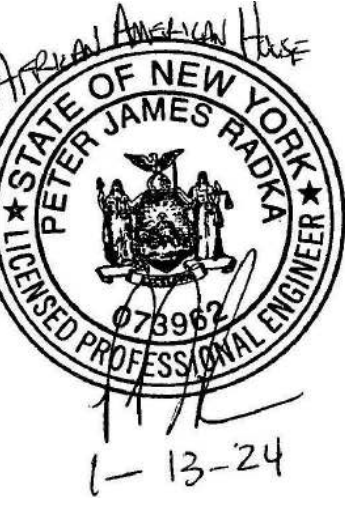
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SECTION

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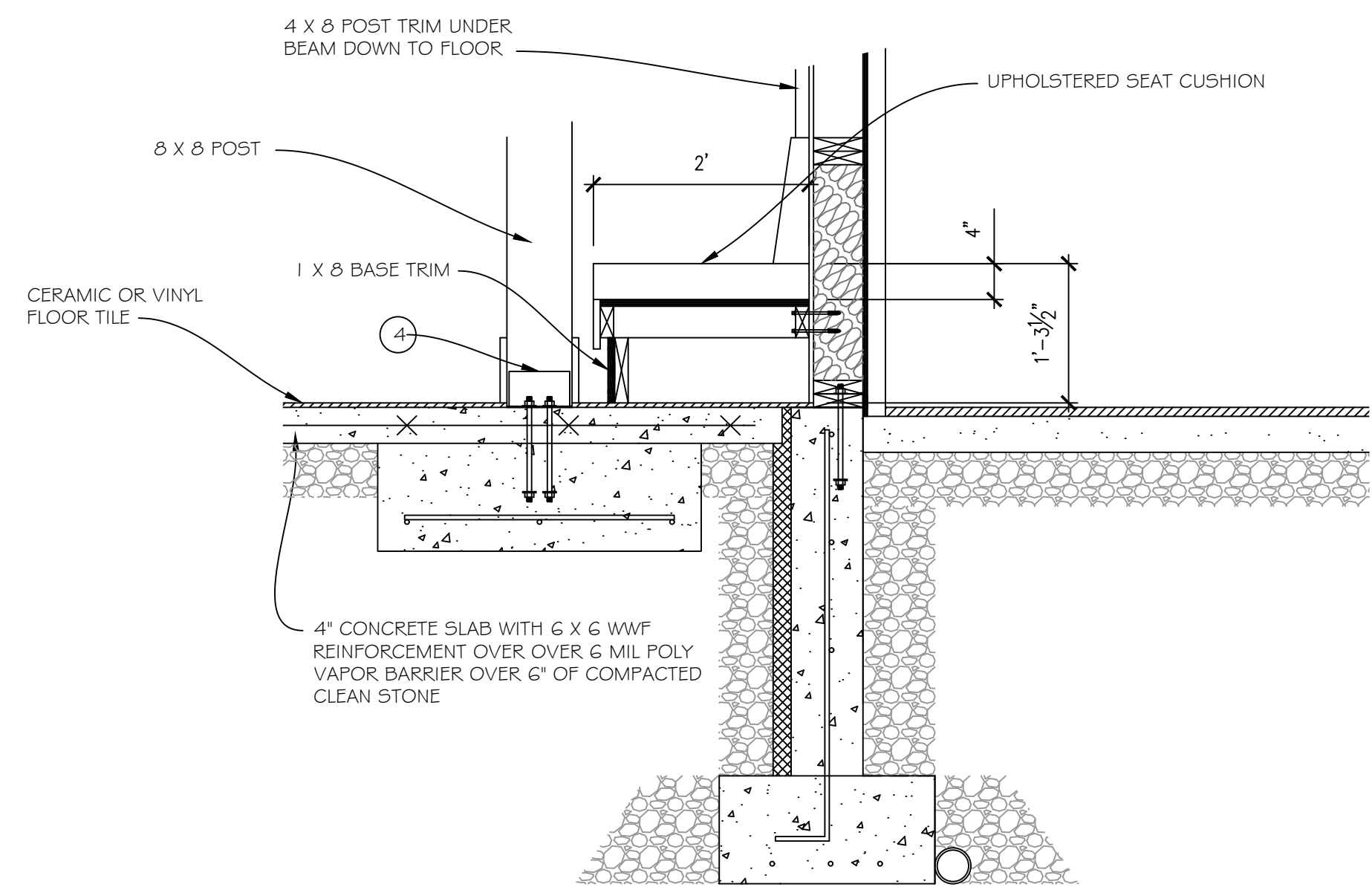
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SECTION
AFRICAN AMERICAN HOUSE
CHAUTAUQUA, NY 14722

DRAWN:
JOE FLIKKEMA
DATE:
1/6/2024
SHEET # A7
8 OF 14



DETAIL

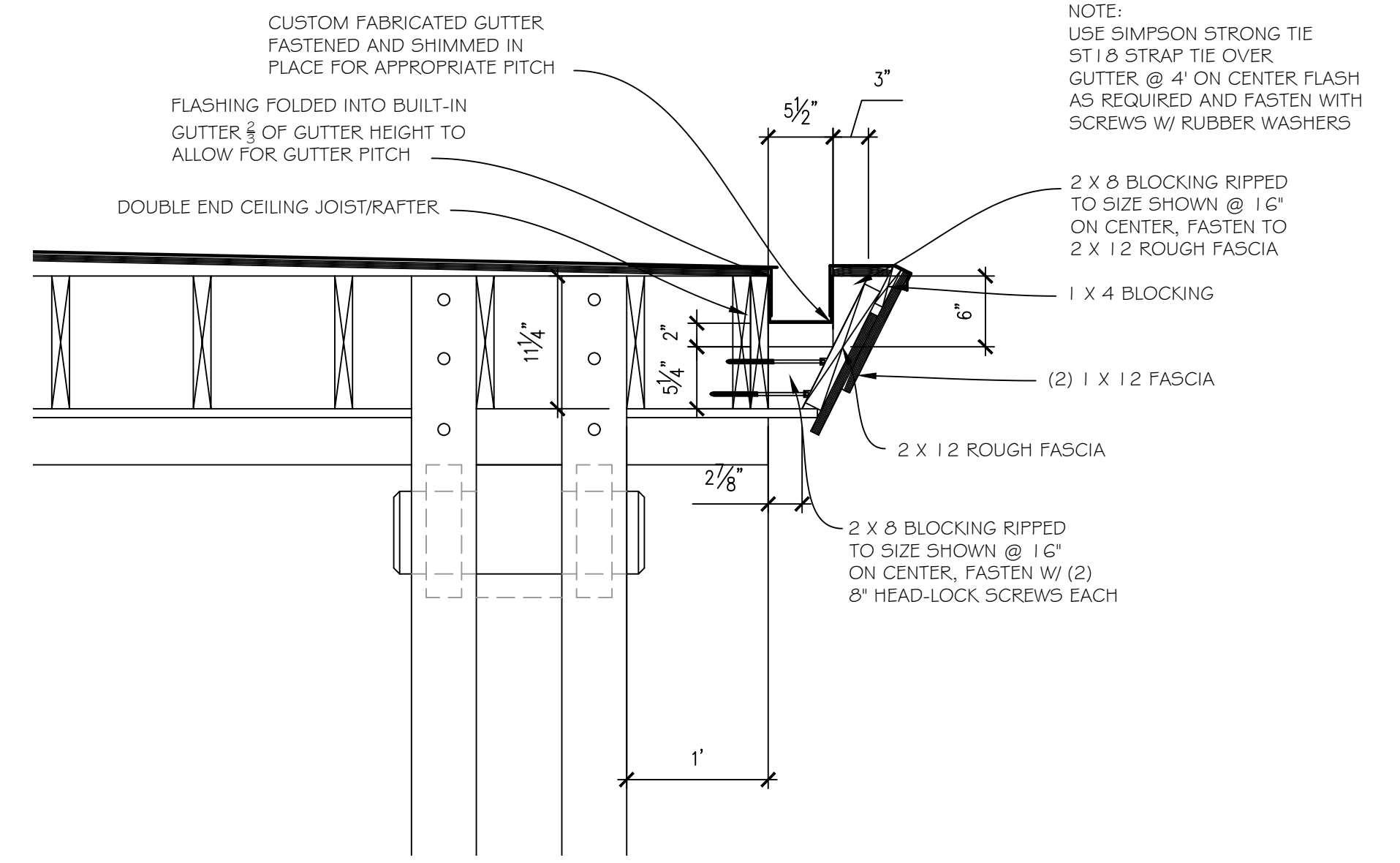
3/4" = 1'-0"

NOTE: EPDM ROOFING AS PER MANUFACTURER'S REQUIREMENTS ALL SPECIAL DETAILS FOR INSTALLATION, FLASHING AND ADDITIONAL REQUIREMENTS FOR USE WITH GREEN ROOF TO BE SUPPLIED BY MANUFACTURER.

NOTE: CEILING INSULATION NOT SHOWN R-49 REQUIRED

FRAMING NOTES

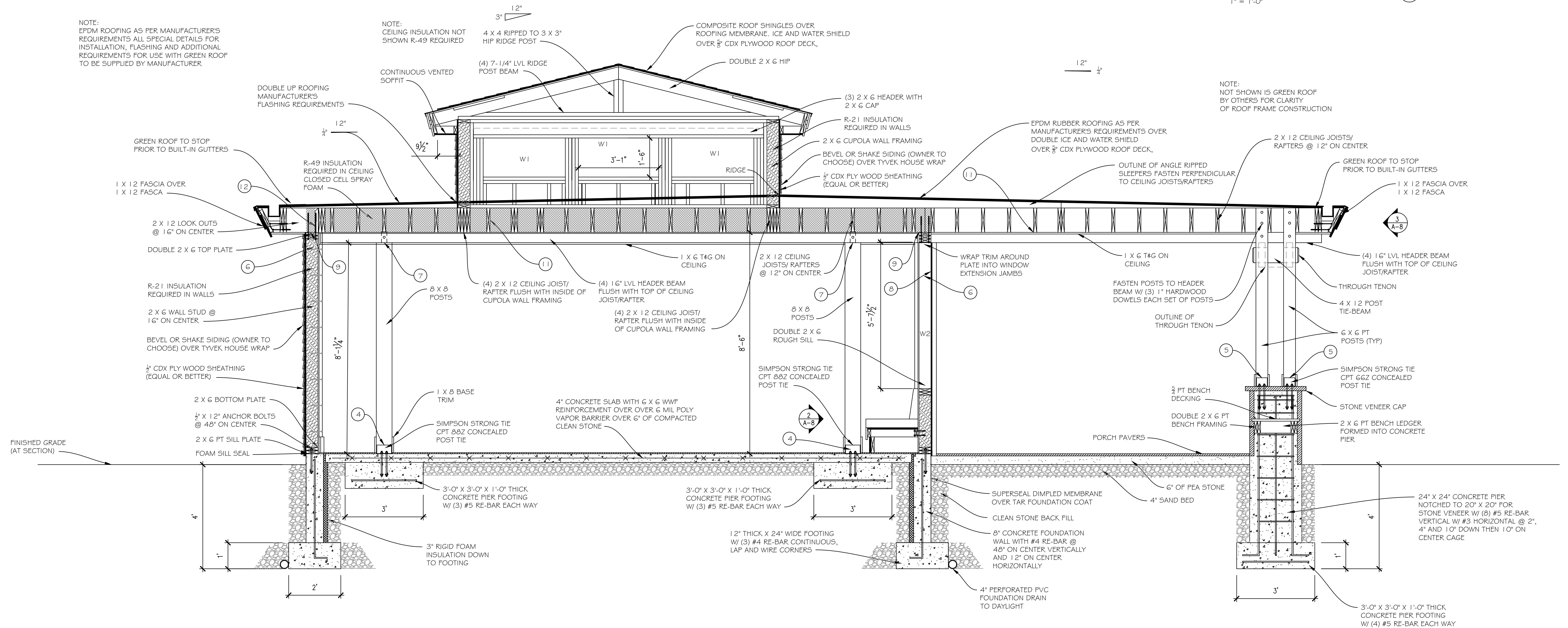
- ④ FASTEN 8 X 8 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT682 POST TIE, AS PER MANUFACTURER'S REQUIREMENTS
- ⑤ FASTEN 6 X 6 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT662 POST TIE, AS PER MANUFACTURER'S REQUIREMENTS
- ⑥ (5) GANG JACK STUD/POST FLOOR BEAMS W/ SOLID BLOCKING UNDER POST TO FOUNDATION (SEE FLOOR PLAN FOR LOCATIONS)
- ⑦ FASTEN 8 X 8 POST TO HEADER BEAM WITH 3" X 5" TENON AND 1" DIAMETER DOWEL
- ⑧ POCKET HEADER BEAM INTO EXTERIOR WALL PROVIDE (5) 2 X 6 JACK STUDS UNDER BEAM
- ⑨ NOTCH HEADER BEAM OVER TOP PLATE AS SHOWN IN SECTION, FASTEN WITH (3) 10" HEAD-LOCK SCREWS UP THROUGH PLATE
- ⑪ FASTEN 2 X 12 CEILING JOISTS/RAFTERS TO HEADER BEAM FLUSH WITH TOP WITH SIMPSON STRONG TIE U212 JOIST HANGERS
- ⑫ FASTEN 2 X 12 LOOKOUTS TO HEADER BEAM AND DOUBLE BAND JOIST FLUSH WITH TOP WITH SIMPSON STRONG TIE U212 JOIST HANGERS



GUTTER DETAIL

1" = 1'-0"

NOTE: NOT SHOWN IS GREEN ROOF BY OTHERS FOR CLARITY OF ROOF FRAME CONSTRUCTION



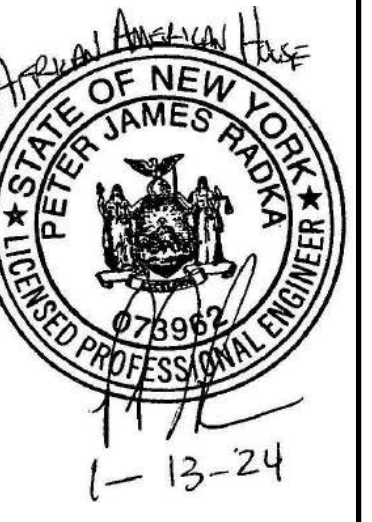
SECTION

1/2" = 1'-0"

OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCRANCHING UPON THE SIDE YARD SETBACK (2/22/2024)

DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LANHAM, MD 21053
(410) 238-7422



ENGINEER:

PETER RADKA
ROCK HILL ENGINEERING, LLC
6948 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

SECTION

AFRICAN AMERICAN HOUSE
CHAUTAQUA, NY 14722

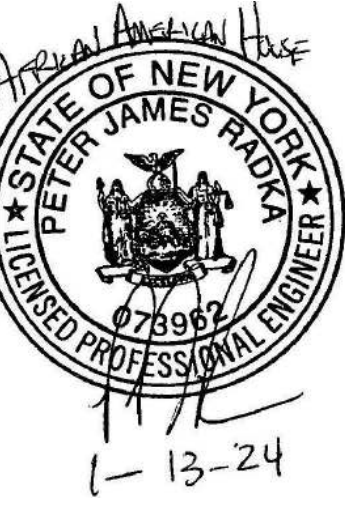
DRAWN:
JOE FLIKKEMA

DATE:
1/16/2024

SHEET #:
A8

9 OF 14

DESIGNER:
JOE FLIKKEMA
 SNOWY MOUNTAIN DESIGN
 4655 BAKER STREET
 LANCASTER, NY 13950
 (485) 238-7422



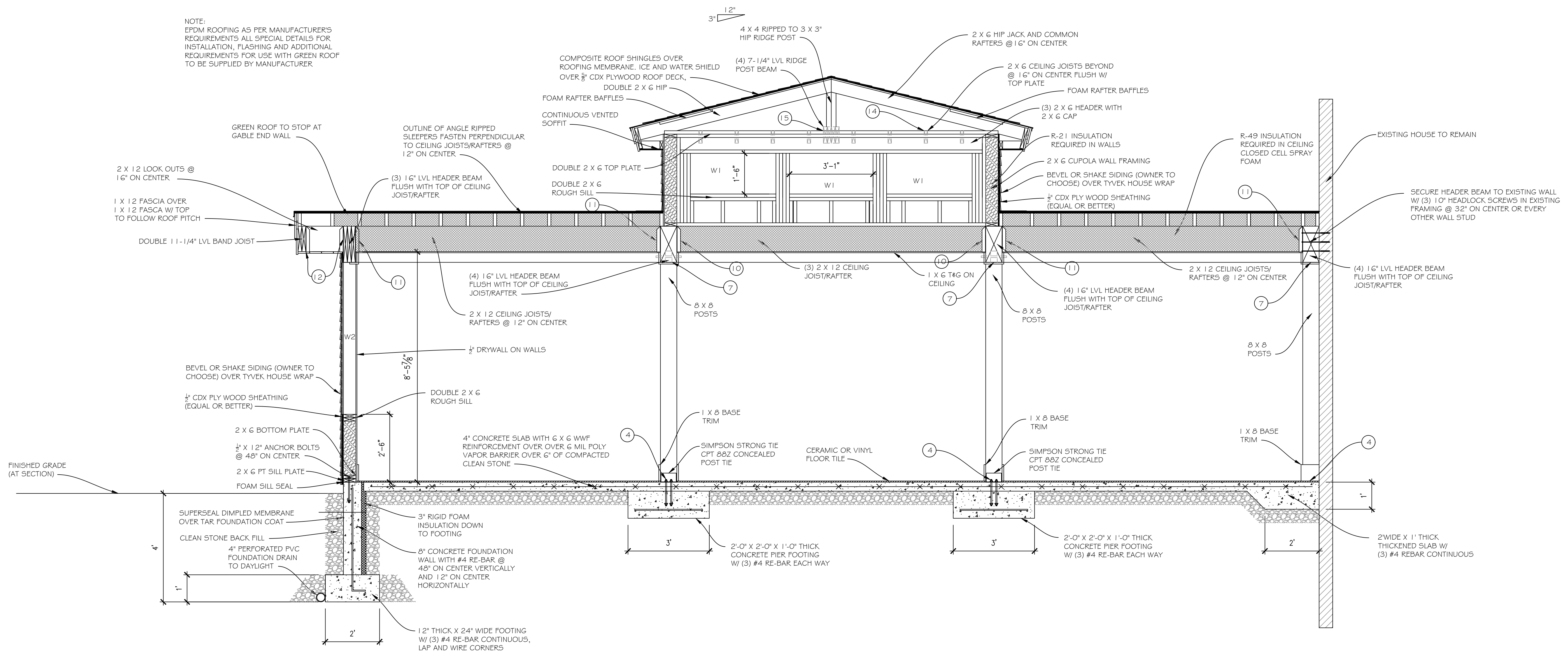
ENGINEER:
PETER RADKA
 ROCK HILL ENGINEERING, LLC
 6949 KINGS CORNER ROAD
 PANAMA, NY 14767
 (716) 782-2206

SECTION
AFRICAN AMERICAN HOUSE
 100 W. 1ST ST.
 CHAUTAQUA, NY 14722

DRAWN:
 JOE FLIKKEMA
 DATE:
 1/16/2024
 SHEET #:
 A9
 10 OF 14

NOTE:
 EPDM ROOFING AS PER MANUFACTURER'S REQUIREMENTS ALL SPECIAL DETAILS FOR INSTALLATION, FLASHING AND ADDITIONAL REQUIREMENTS FOR USE WITH GREEN ROOF TO BE SUPPLIED BY MANUFACTURER

NOTE:
 CEILING INSULATION NOT SHOWN R-49 REQUIRED



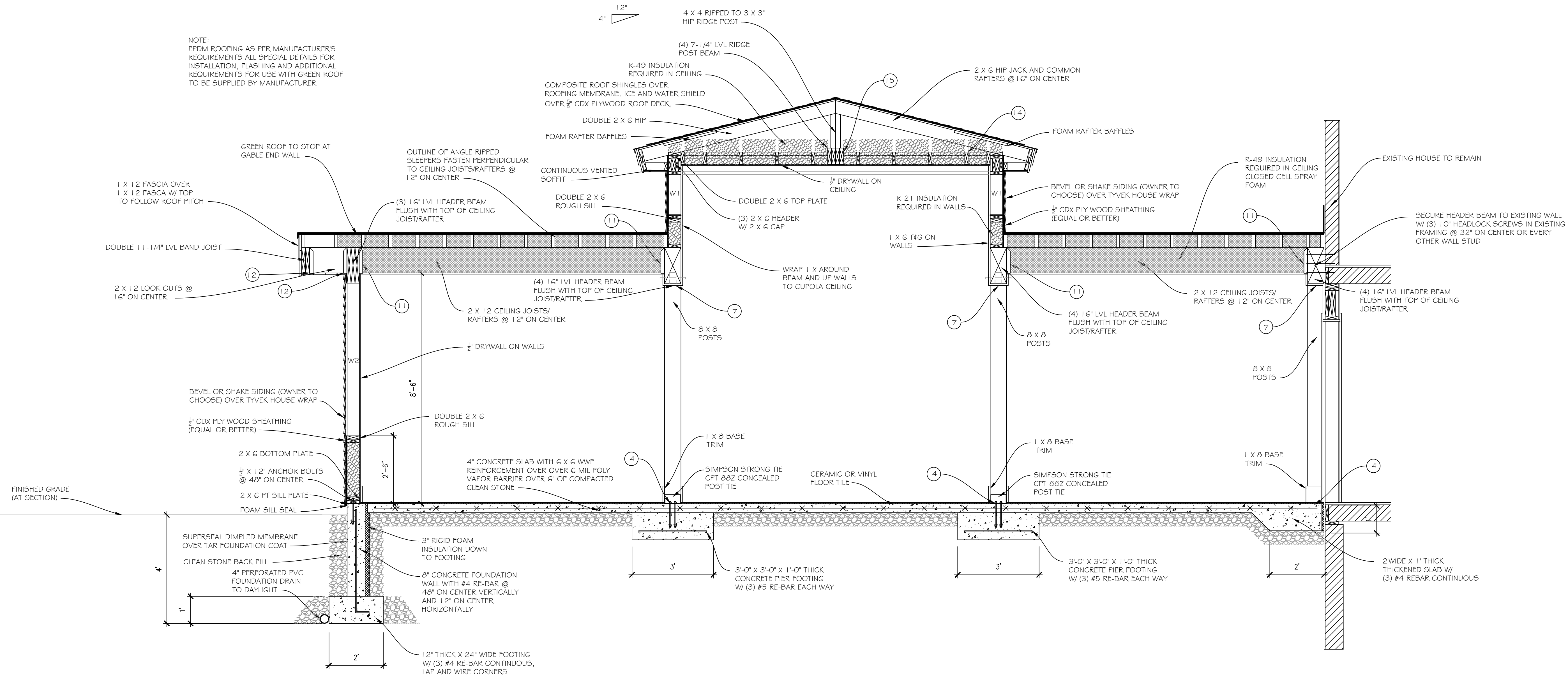
SECTION
 1/2" = 1'-0"

FRAMING NOTES

- ④ FASTEN 8 X 8 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT8&Z POST BASE, AS PER MANUFACTURER'S REQUIREMENTS
- ⑦ FASTEN 8 X 8 POST TO HEADER BEAM WITH 3" X 5" TENON AND 1" DIAMETER DOWEL
- ⑩ FASTEN TRIPLE 2 X 12 CEILING JOIST/RAFTER TO HEADER BEAM WITH SIMPSON STRONG TIE HUG2 I2-3 JOIST HANGERS
- ⑪ FASTEN 2 X 12 CEILING JOISTS/RAFTERS TO HEADER BEAM FLUSH WITH TOP WITH SIMPSON STRONG TIE U2 I2 JOIST HANGERS
- ⑫ FASTEN 2 X 12 LOOKOUTS TO HEADER BEAM AND DOUBLE BAND JOIST FLUSH WITH TOP WITH SIMPSON STRONG TIE U2 I2 JOIST HANGERS
- ⑭ FASTEN 2 X 6 CEILING JOISTS TO HEADER FLUSH WITH TOP WITH SIMPSON STRONG TIE U26 JOIST HANGERS
- ⑮ FASTEN (4) 7-1/4" LVL RIDGE POST BEAM TO WALL FLUSH WITH BOTTOM OF CEILING JOISTS WITH SIMPSON STRONG HGU5.25/10 BEAM HANGERS

OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCROACHING UPON THE SIDE YARD SETBACK (2/22/2024)

NOTE:
 EPDM ROOFING AS PER MANUFACTURER'S
 REQUIREMENTS ALL SPECIAL DETAILS FOR
 INSTALLATION, FLASHING AND ADDITIONAL
 REQUIREMENTS FOR USE WITH GREEN ROOF
 TO BE SUPPLIED BY MANUFACTURER.



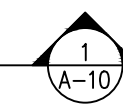
OPTION "B" EXTEND STORAGE
 AREA 18". THIS EXTENDS INTO
 THE 3' SIDE YARD SETBACK WE
 ARE SEEKING A VARIANCE FOR
 ENCROACHING UPON THE SIDE
 YARD SETBACK (2/22/2024)

FRAMING NOTES

- (4) FASTEN 8 X 8 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT8&Z POST BASE, AS PER MANUFACTURER'S REQUIREMENTS
- (7) FASTEN 8 X 8 POST TO HEADER BEAM WITH 3" X 5" TENON AND 1" DIAMETER DOWEL
- (11) FASTEN 2 X 12 CEILING JOISTS/RAFTERS TO HEADER BEAM FLUSH WITH TOP WITH SIMPSON STRONG TIE U212 JOIST HANGERS
- (12) FASTEN 2 X 12 LOOKOUTS TO HEADER BEAM AND DOUBLE BAND JOIST FLUSH WITH TOP WITH SIMPSON STRONG TIE U212 JOIST HANGERS
- (14) FASTEN 2 X 6 CEILING JOISTS TO HEADER BEAM FLUSH WITH TOP WITH SIMPSON STRONG TIE U26 JOIST HANGERS
- (15) FASTEN (4) 7-1/4" LVL RIDGE POST BEAM TO WALL FLUSH WITH BOTTOM OF CEILING JOISTS WITH SIMPSON STRONG HGUS7.25/10 BEAM HANGERS

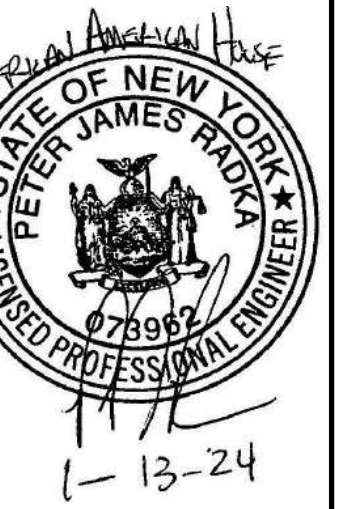
SECTION

1/2" = 1'-0"



DESIGNER:

JOE FLIKKEMA
 SNOWY MOUNTAIN DESIGN
 4655 BAKER STREET
 LANCASTER, NY 13950
 (485) 238-7422



ENGINEER:

PETER RADKA
 ROCK HILL ENGINEERING, LLC
 6949 KINGS CORNER ROAD
 PANAMA, NY 14767
 (716) 782-2206

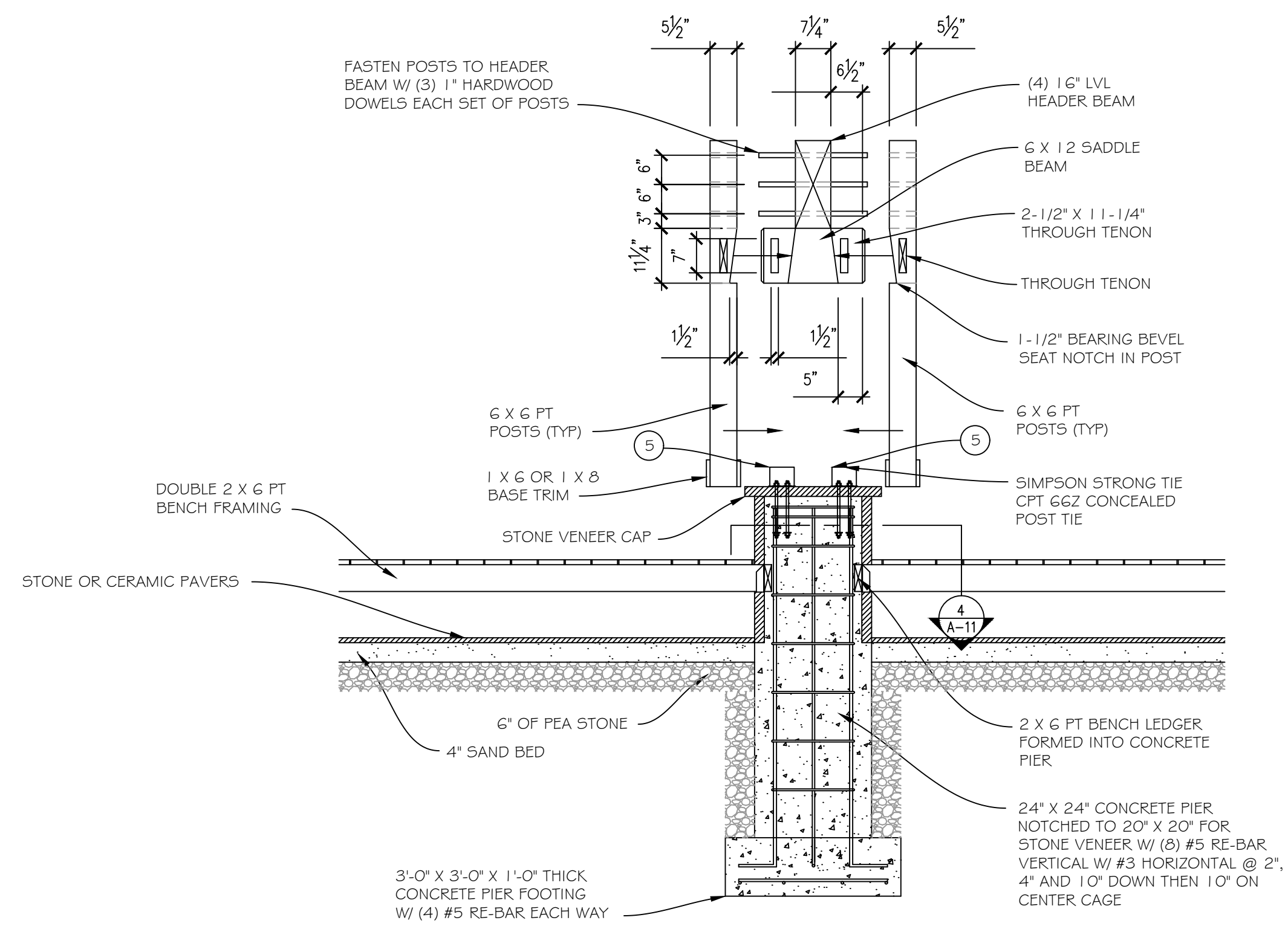
SECTION

AFRICAN AMERICAN HOUSE
 CHAUTAUCQUA, NY 14722

DRAWN:
 JOE FLIKKEMA

DATE:
 1/14/2024

SHEET # A10
 11 OF 14



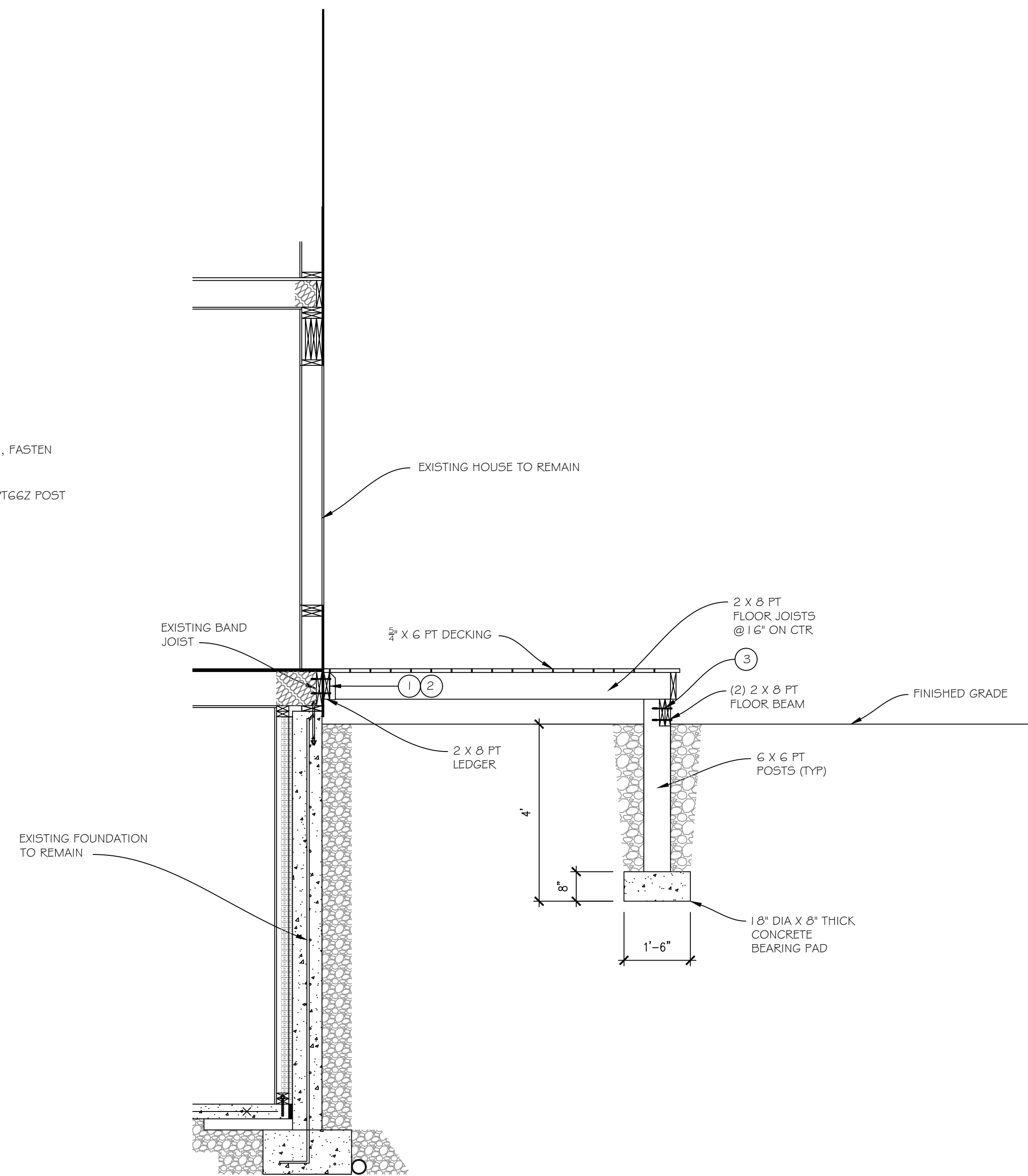
ASSEMBLY

1/2" = 1'-0"



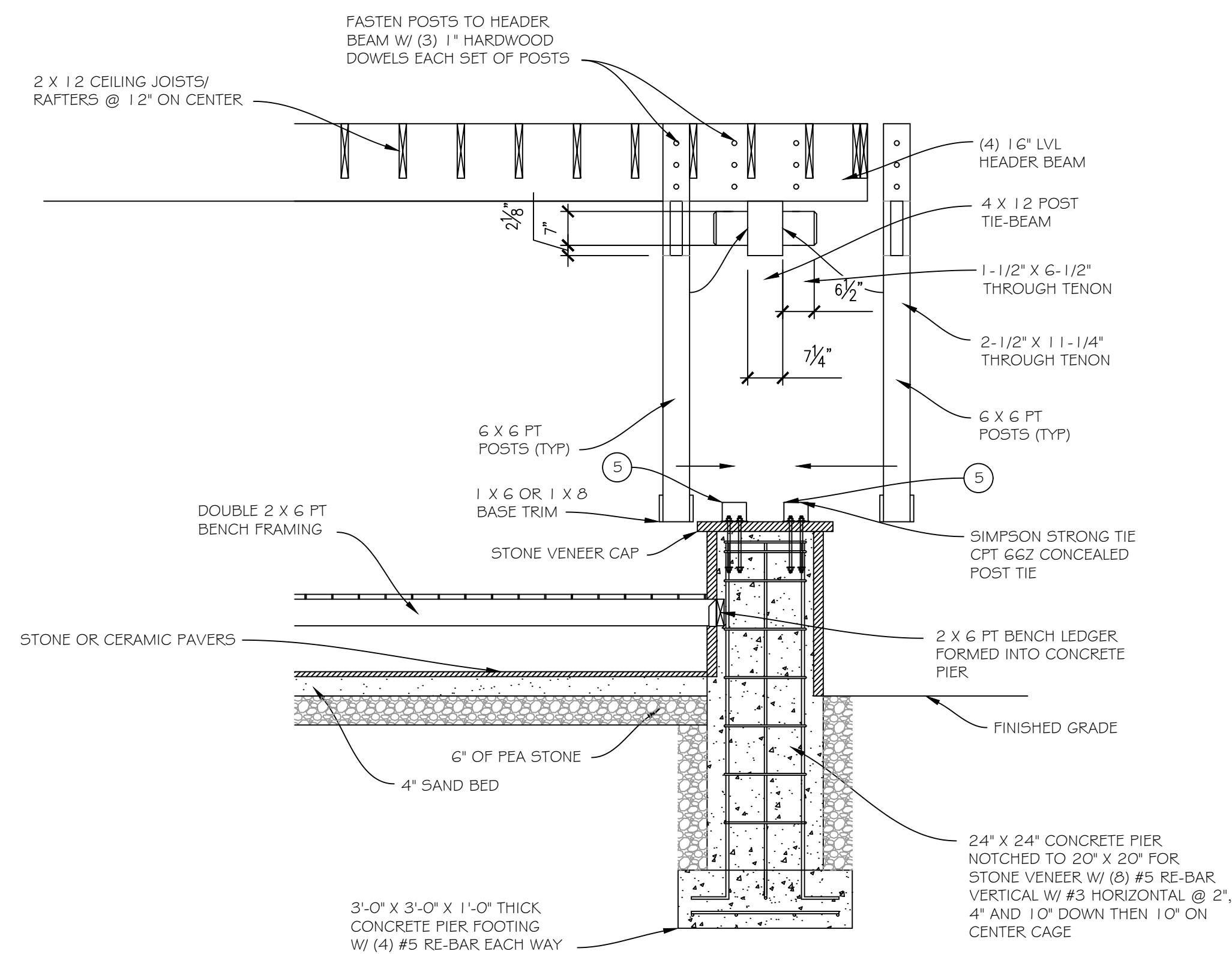
FRAMING NOTES

- ① FASTEN 2 X 8 PT LEDGER TO BAND OVER SELF HEALING FLASHING WITH (2) 5" LEDGER LOCK SCREWS @ 16" ON CENTER
- ② FASTEN 2 X 8 PT FLOOR JOISTS TO NEW 2 X 8 PT LEDGER WITH SIMPSON STRONG TIE U2B JOIST HANGERS
- ③ NOTCH DOUBLE 2 X 8 BEAM INTO 6 X 6 PT POST AS SHOWN ON SECTION, FASTEN WITH (3) 5" LEDGER LOCK SCREWS
- ⑤ FASTEN 6 X 6 PT POST TO CONCRETE PIER WITH SIMPSON STRONG TIE CPT66Z POST BASE, AS PER MANUFACTURERS REQUIREMENTS



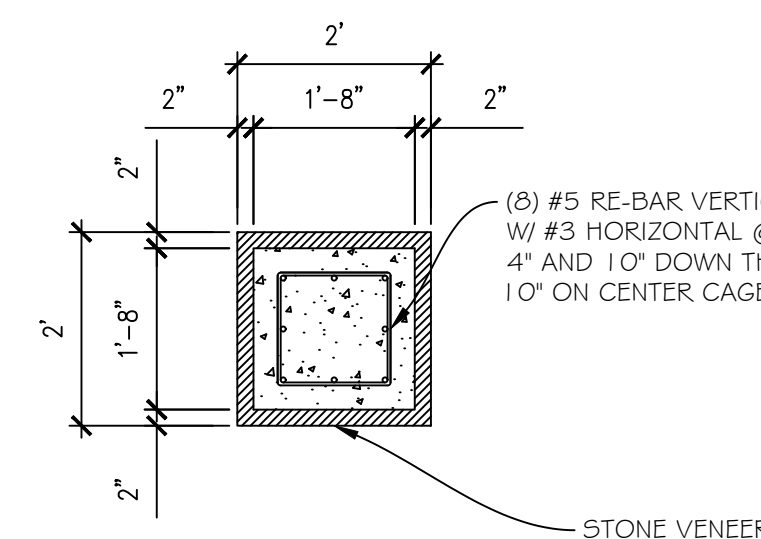
SECTION

1/2" = 1'-0"



ASSEMBLY

1/2" = 1'-0"



PIER SECTION

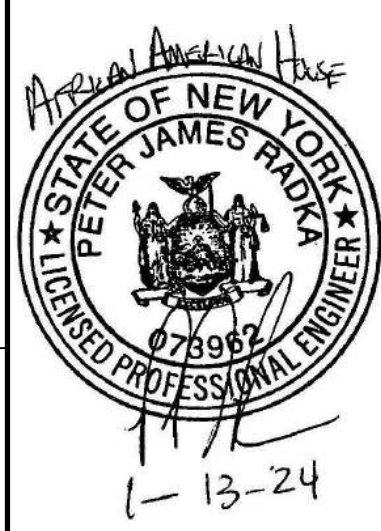
1/2" = 1'-0"



OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCRANCHING UPON THE SIDE YARD SETBACK (2/22/2024)

DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LANCASTER, NY 13652
(485) 238-7422



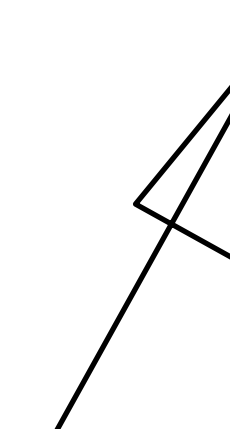
ENGINEER:

PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

DETAILS
AFRICAN AMERICAN HOUSE
CHAUTAQUA, NY 14722

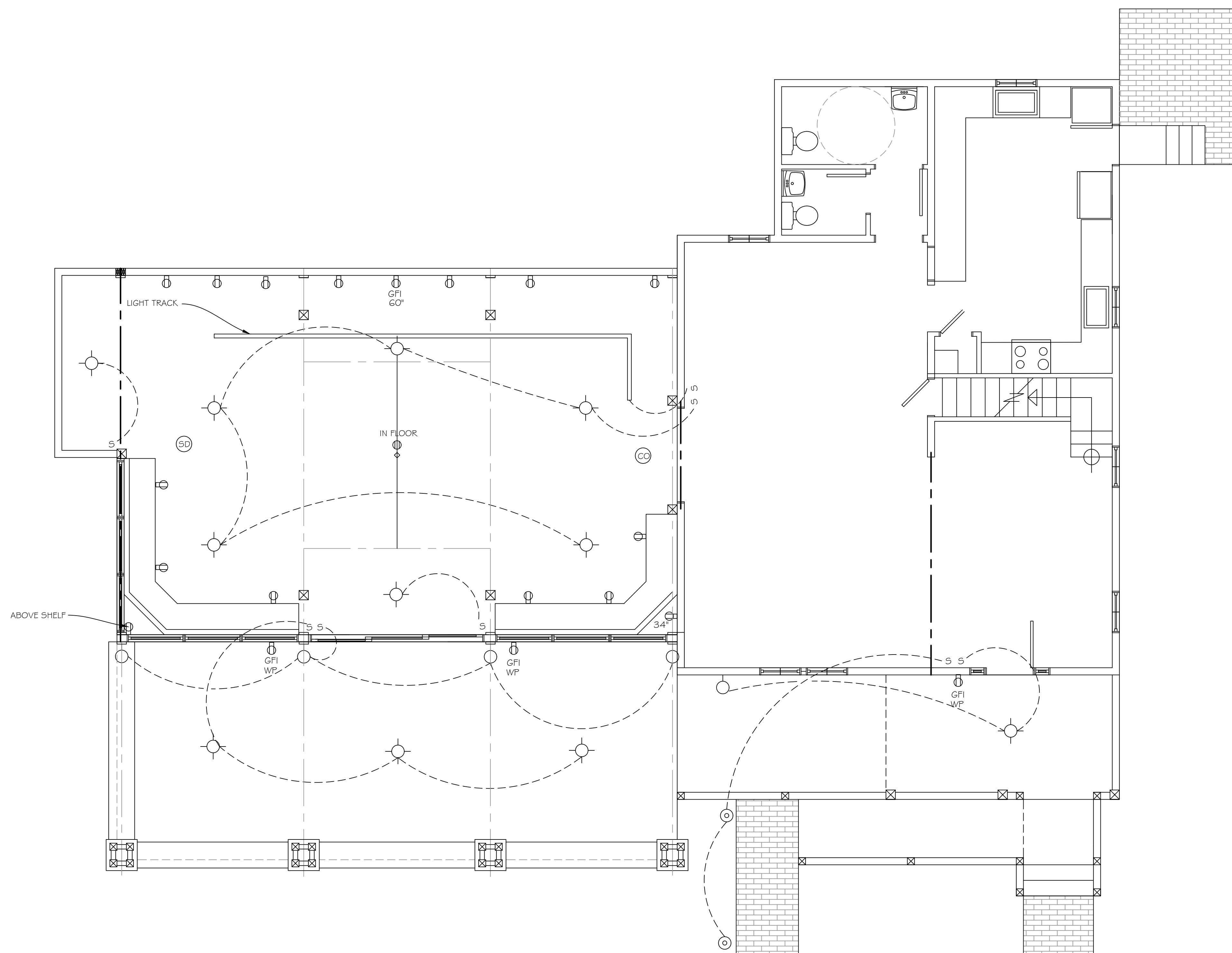
DRAWN: JOE FLIKKEMA
DATE: 1/6/2024
SHEET # A-11
12 OF 14

NORTH



ELECTRICAL SYMBOL SCHEDULE

- S SINGLE POLE SWITCH
- ⊕ DUPLEX OUTLET
- ⊕^{GFI} DUPLEX OUTLET GFI PROTECTED
- S³ 3 WAY SWITCH
- ⊕^{WP} WEATHER PROOF OUTLET COVER PROTECTED
- ⊠ ELECTRIC BREAKER PANEL
- ⊕^{RH} RANGE HOOD EXHAUST FAN
- ⊕^B BATHROOM EXHAUST FAN/LIGHT COMBO VENTED TO EXTERIOR
- ³ HOME RUN, BREAKER NUMERATED
- ⊕ 240 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕^{SD} SMOKE DETECTOR
- ⊕^{CC} SMOKE/CO DETECTOR COMBO
- ⊕^R RECESSED LIGHT FIXTURE
- ⊕^C CEILING FAN
- ⊕^{42"} OUTLET WITH HEIGHT TO CENTER OF BOX INDICATED
- ⊕^J JUNCTION BOX WITH DISCONNECT
- ⊕[○] GROUND MOUNT LANDSCAPE LIGHT FIXTURE
- S⁴ 4 WAY SWITCH
- ⊕^H HEAT DETECTOR INTER CONNECTED WITH BATTERY BACK UP
- EXIT EMERGENCY EXIT LIGHT FIXTURE WALL OR CEILING MOUNTED



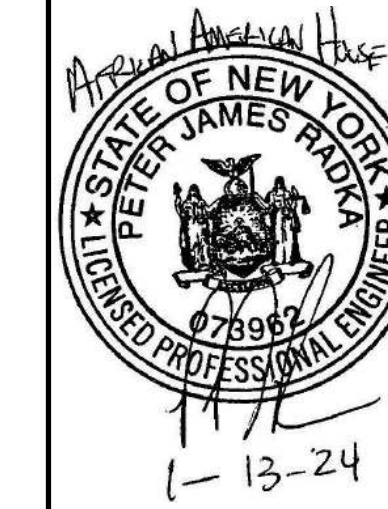
OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCROACHING UPON THE SIDE YARD SETBACK (2/22/2024)

ELECTRICAL PLAN

1/4" = 1'-0"

DESIGNER:

JOE FLIKKEMA
 SNOWY MOUNTAIN DESIGN
 4655 BAKER STREET
 LAKEWOOD, NY 14750
 (425) 236-7422



ENGINEER:

PETER RADKA
 ROCK HILL ENGINEERING, LLC
 6949 KINGS CORNER ROAD
 PANAMA, NY 14767
 (716) 782-2206

ELECTRICAL PLAN
 AFRICAN AMERICAN HERITAGE HOUSE
 1000 W. HUNTER STREET
 CHAUTAUCQUA, NY 14722

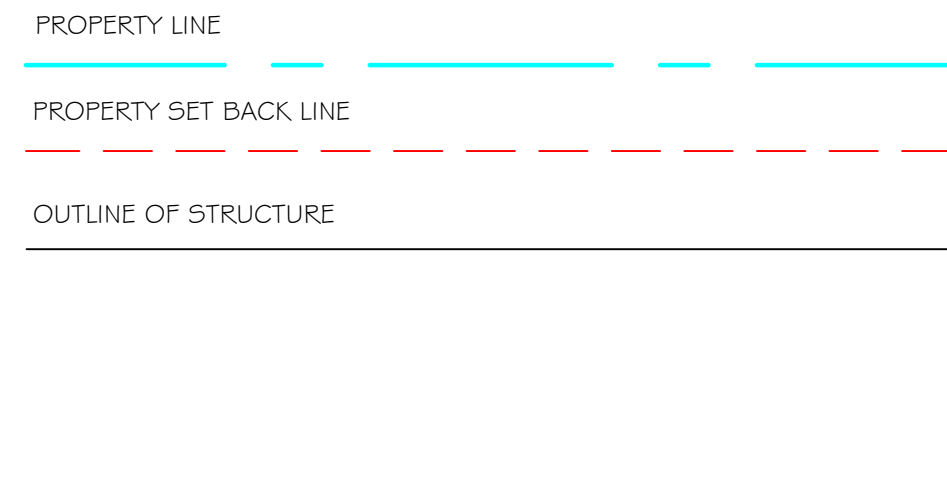
DRAWN: JOE FLIKKEMA

DATE: 1/6/2024

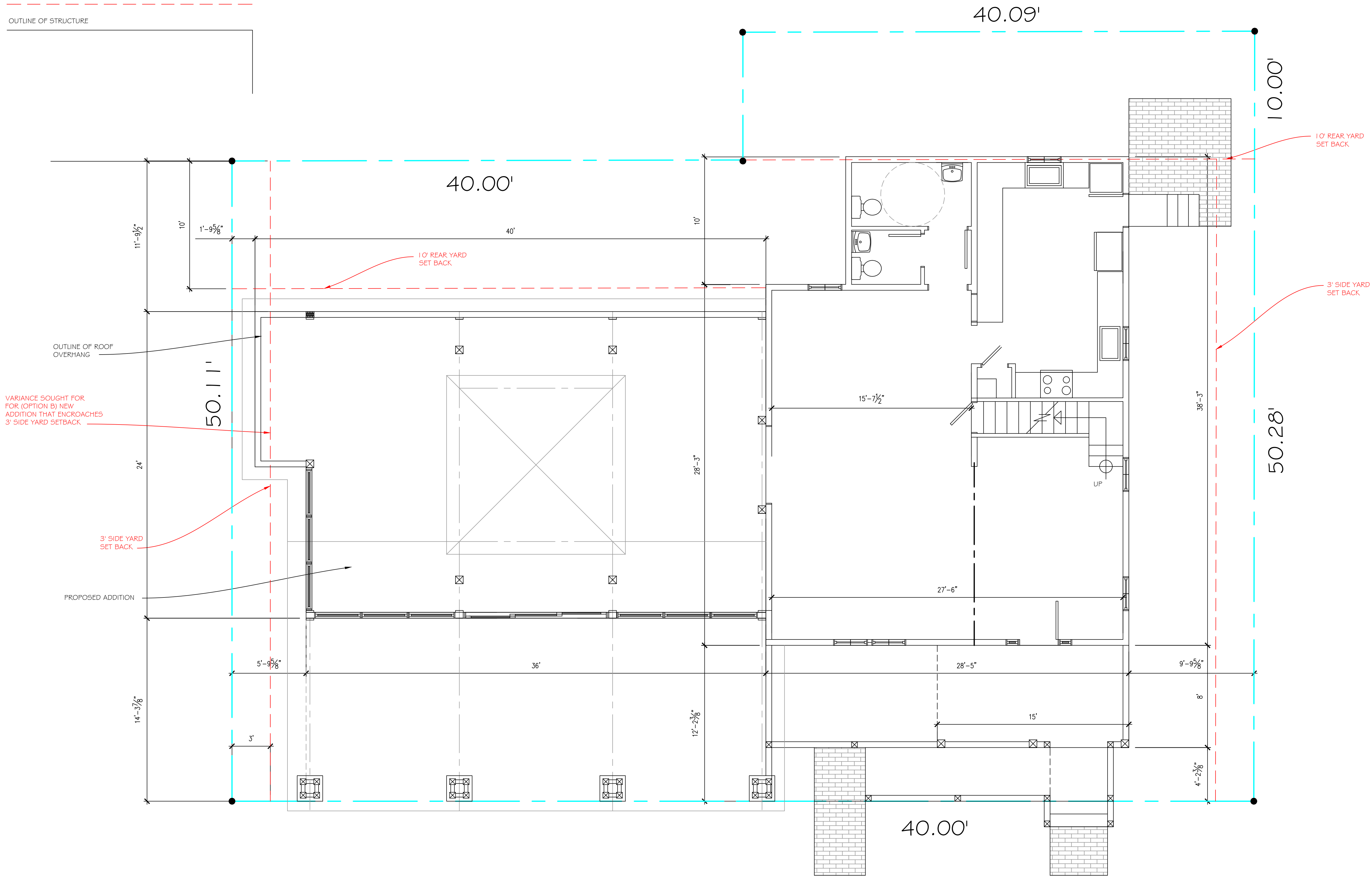
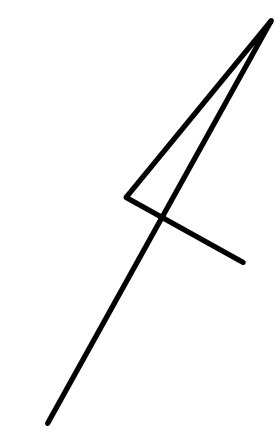
SHEET # E1

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LEGEND:



NORTH



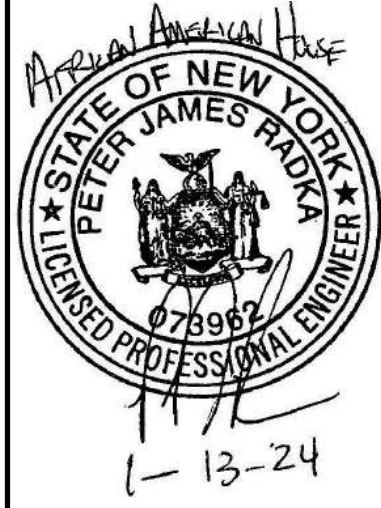
40 SCOTT AVE
SCOTT AVENUE

SITE PLAN

1/4" = 1'-0"

OPTION "B" EXTEND STORAGE AREA 18". THIS EXTENDS INTO THE 3' SIDE YARD SETBACK WE ARE SEEKING A VARIANCE FOR ENCROACHING UPON THE SIDE YARD SETBACK (2/22/2024)

DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LANCASTER, NY 13950
(485) 238-7422



ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

SITE PLAN
AFRICAN AMERICAN HERITAGE HOUSE
40 SCOTT AVE
CHAUTAUQUA, NY 14722

DRAWN:
JOE FLIKKEMA
DATE:
1/6/2024
SHEET # : 51
14 OF 14