



## OFFICE OF CAMPUS PLANNING & OPERATIONS

### ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

March 28th, 2024

Dear Chautauquan,

The owner of 48 S Lake, Dr. Russell Leslie, is requesting to come before the Architectural Review Board for the scope of work for renovation and rehabilitation of the Building. This scope of work proposes a multi-level addition that crosses over 5'-0" into the side yard setback, as well as the construction of a basement underneath the Building. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variations/Requests being considered:

1. Variance for encroachment into the side yard setback on the North Western side of the property (Architectural and Land Use Regulations Section 4.4.6)
2. Request for the construction of a basement (Architectural and Land Use Regulations Section 6.3)

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project's scope of work may be reviewed online at the Architecture Review Board (ARB) News and Notes Page at the following link:

[Architecture Review Board \(ARB\) News and Notes - Chautauqua Institution \(chq.org\)](https://www.chq.org/arb-news-and-notes)

The Architectural Review Board will meet on **May 2nd 2024 at 12:00pm Noon in the Turner Community Center Conference Room**. Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at [arb@chq.org](mailto:arb@chq.org) until 12:00pm noon the day before on May 1st 2024.

Thank you for your time!

Respectfully,

A handwritten signature in blue ink, appearing to read 'RB Boughton', written in a cursive style.

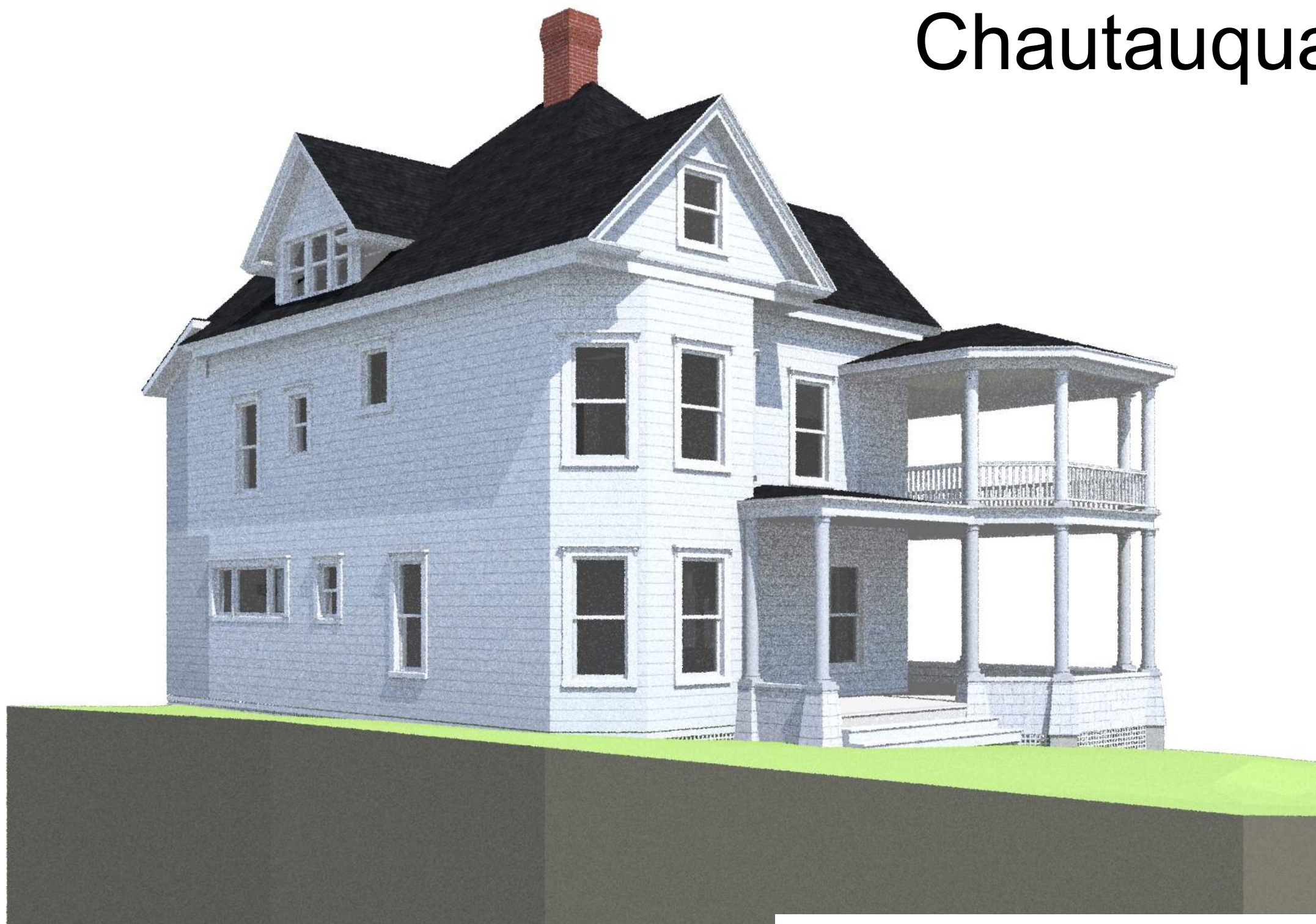
**Ryan B. Boughton, Assoc. AIA**

Administrator of Architectural and Land Use Regulations

[rboughton@chq.org](mailto:rboughton@chq.org) | o: 716.357.6245

# Leslie Residence

48 South lake.  
Chautauqua, NY 14722



1 West Perspective  
CS-1 3/8" = 1'-0"



2 East Perspective  
CS-1 1:42.66666667

## DRAWING INDEX:

CS-1 Cover Sheet  
CS-1 Cover Sheet

## ARCHITECTURAL

A-4.1 Elevations  
A-4.2 Elevations  
A-4.3 Elevations  
A-4.4 Elevations

## General Notes:

- All interior partitions are wood stud and 1/2 GWB construction unless noted otherwise.
- All dimensions are from face of stud or face of existing construction unless noted otherwise
- Provide and install sound attenuation batt insulation in all rated partitions.
- Maintain all required fire separations when penetrating rated assemblies
- Do not cut or patch structural members in a manner that will compromise the load capacity of any member.

## Applicable Codes:

2020 Residential Code of New York State  
Single Family Home  
2020 Fire Code of New York State  
2020 Plumbing Code of New York State  
2020 Mechanical Code of New York State  
Town of Chautauqua Zoning



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Leslie Residence  
48 South lake  
Chautauqua NY 14722

Drawn By MBI  
Date 03.28.2024  
No. Date

Cover Sheet

CS-1

# Leslie Residence

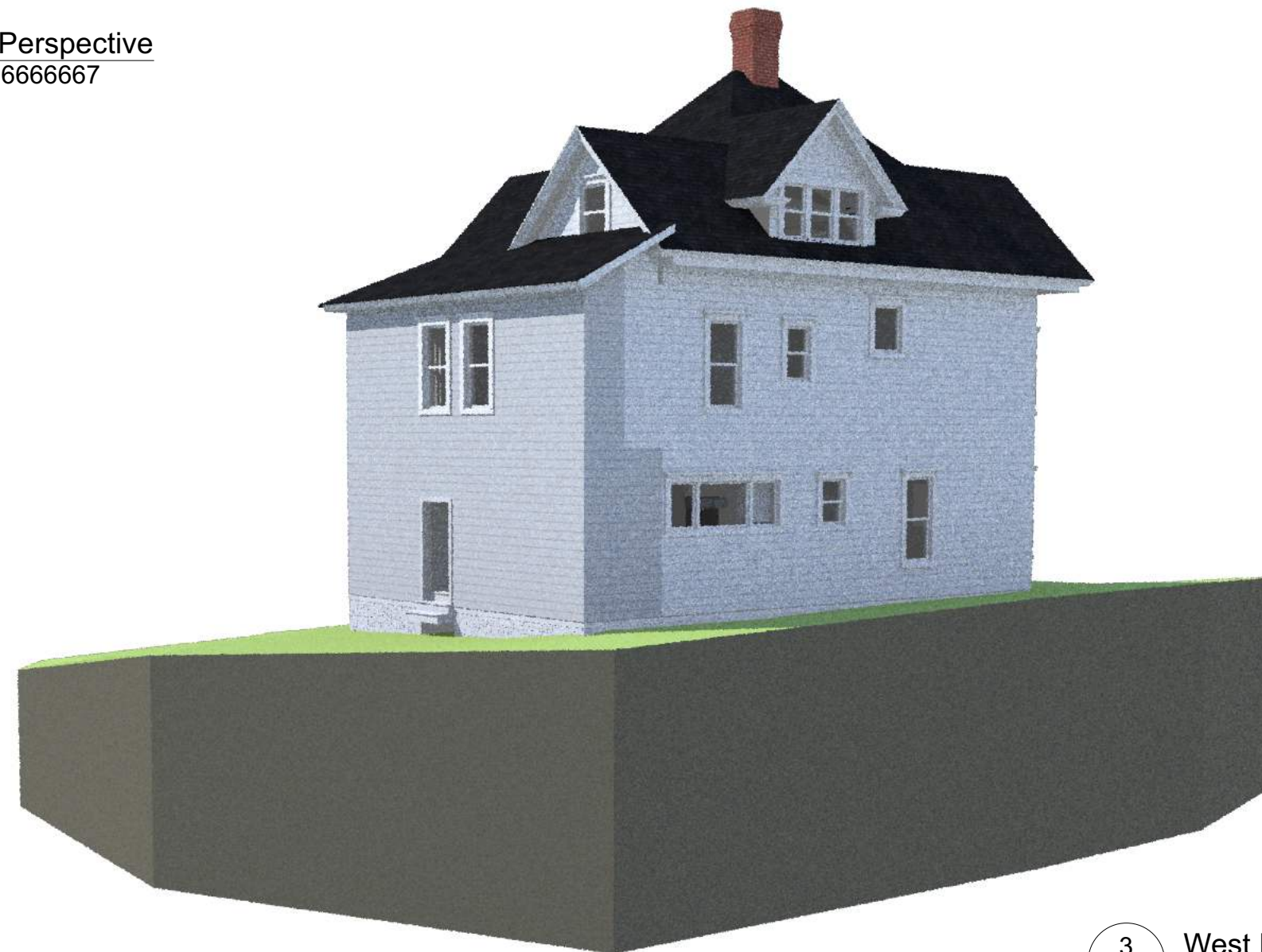
48 South lake.  
Chautauqua, NY 14722

**MAYSHARK**  
ARCHITECTURE | DESIGN | CONSTRUCTION  
5073 West Lake Road  
Mayville, NY 14757  
Phone: (716) 386-6228  
Fax: (716) 386-4159  
Email: mbi@mayshark.com

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4 East Perspective  
CS-2 1:42.6666667



3 West Perspective  
CS-2 3/8" = 1'-0"

## DRAWING INDEX:

CS-1 Cover Sheet  
CS-1 Cover Sheet

### ARCHITECTURAL

A-4.1 Elevations  
A-4.2 Elevations  
A-4.3 Elevations  
A-4.4 Elevations

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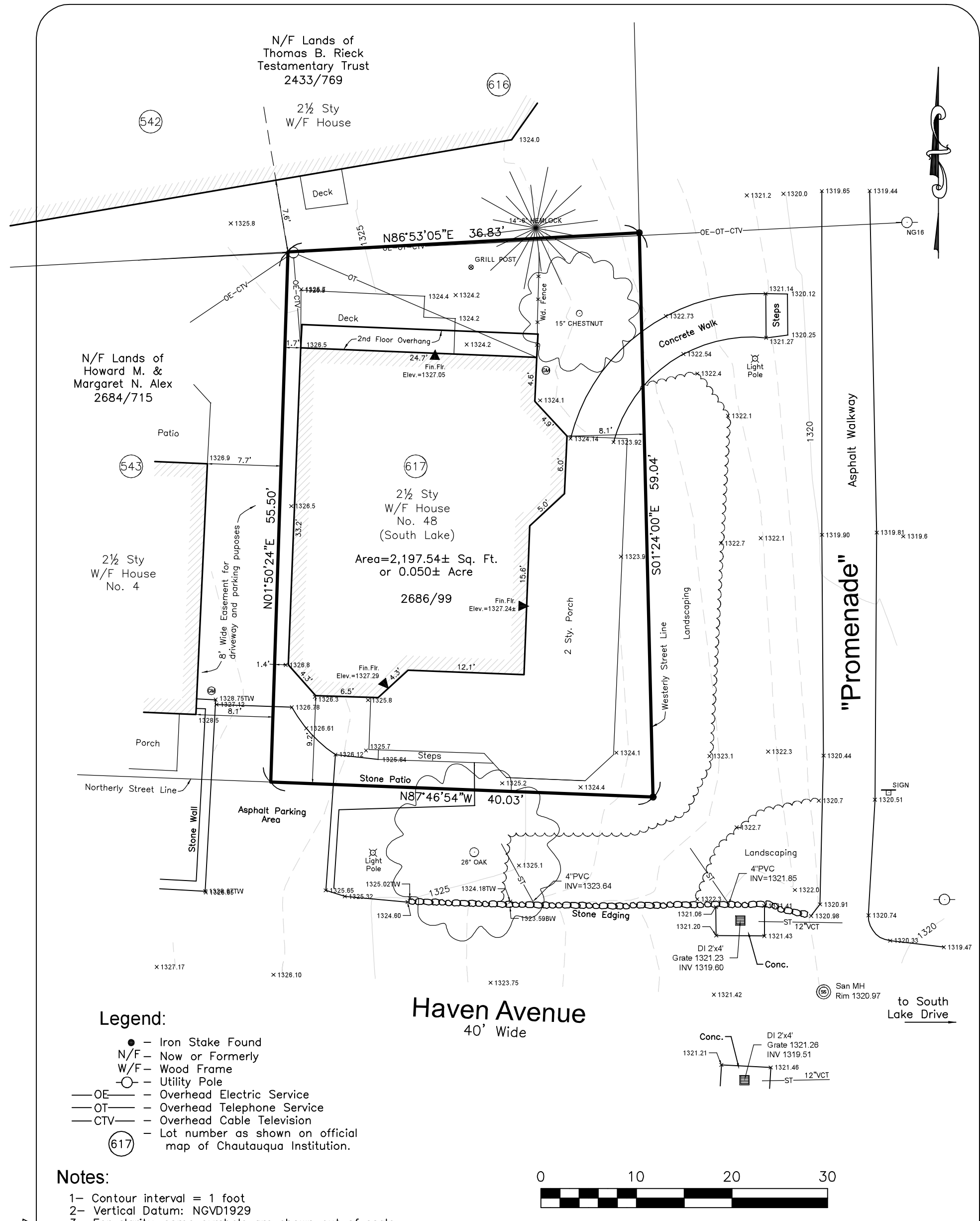
2020 Residential Code of New York State  
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Town of Chautauqua Zoning

Leslie Residence  
48 South lake  
Chautauqua NY 14722

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No.	Date

Cover Sheet

CS-2



- Legend:**
- - Iron Stake Found
  - N/F - Now or Formerly
  - W/F - Wood Frame
  - - Utility Pole
  - OE— - Overhead Electric Service
  - OT— - Overhead Telephone Service
  - CTV— - Overhead Cable Television
  - ⑥17 - Lot number as shown on official map of Chautauqua Institution.

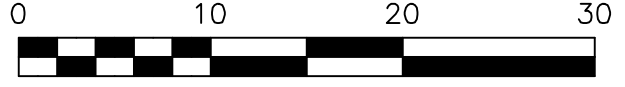
- Notes:**
- 1- Contour interval = 1 foot
  - 2- Vertical Datum: NGVD1929
  - 3- For clarity, some symbols are shown out of scale.

- Utility Notes:**
- A- Underground Utilities other than those shown may exist.
  - B- Underground utilities shown are plotted from above ground observation only. The location as shown should be considered approximate only. Contact the appropriate authority prior to any excavation. No sub-surface investigation or location was performed during the course of this survey.

"This survey was prepared without the benefit of an Abstract of Title, and is subject to any facts that may be revealed by an examination of such."

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's seal is a violation of section 7209 sub-division 2, of the New York State Education Law.

Only copies from the original of this survey marked with an original of the Land Surveyor's embossed seal shall be considered to be valid true copies.



**Map of a Survey of  
48 South Lake Drive**

Chautauqua Institution  
Town of Chautauqua  
County of Chautauqua  
State of New York

Being part of Lot 29 - Town 3 - Range 13 of the Holland Land Company's Survey

DATE OF SURVEY: August 1, 2022	SCALE: 1" = 10'	DR. BY: KMR
DATE OF PLAN: August 10, 2022	F.B.:	SHEET NO.:

**RODGERS**  
LAND SURVEYING

583 FALCONER STREET - JAMESTOWN, NY 716-665-2828 ph. www.rodgerssurveying.com  
KEVIN M. RODGERS, LS NYS Lic. No. 50247

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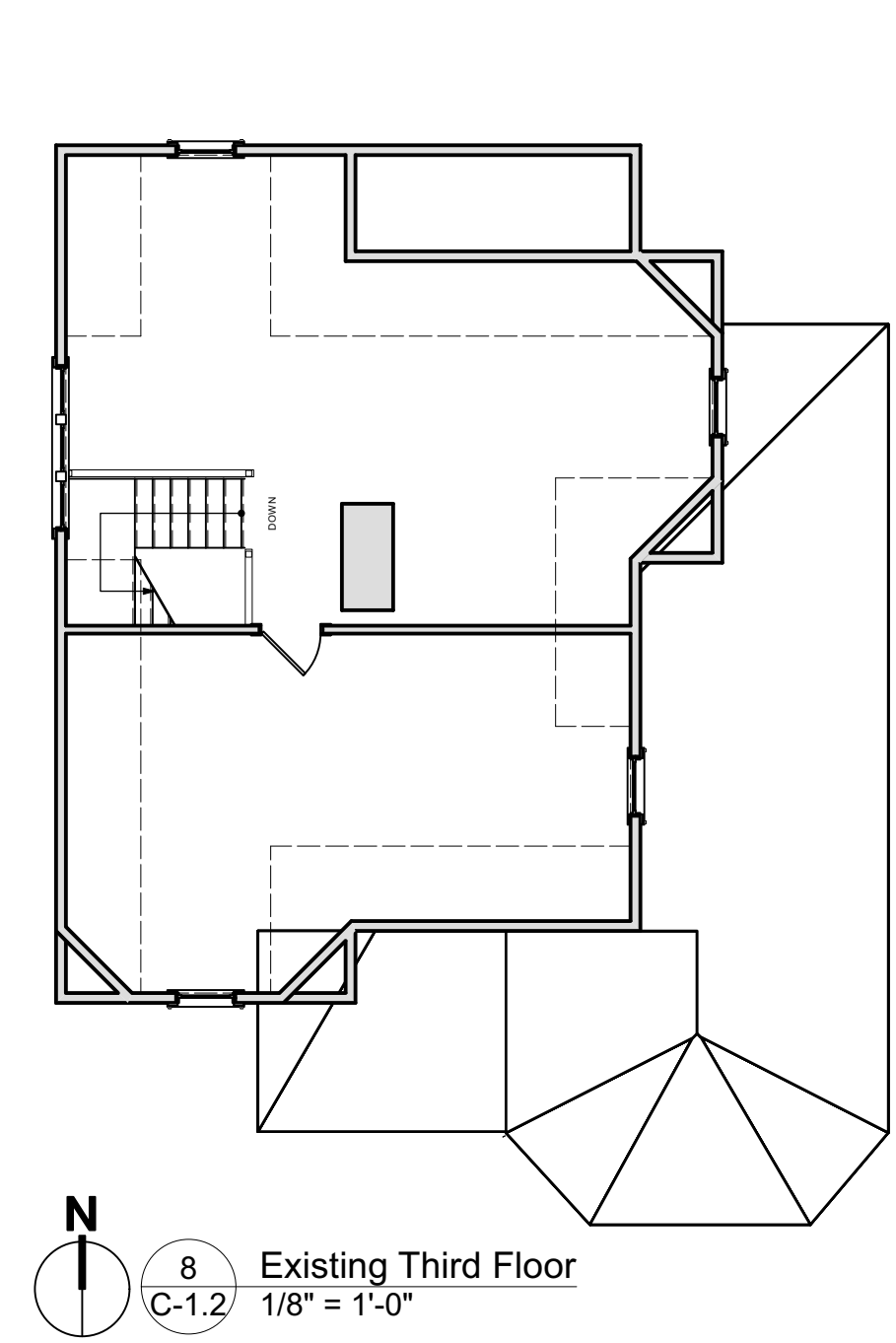
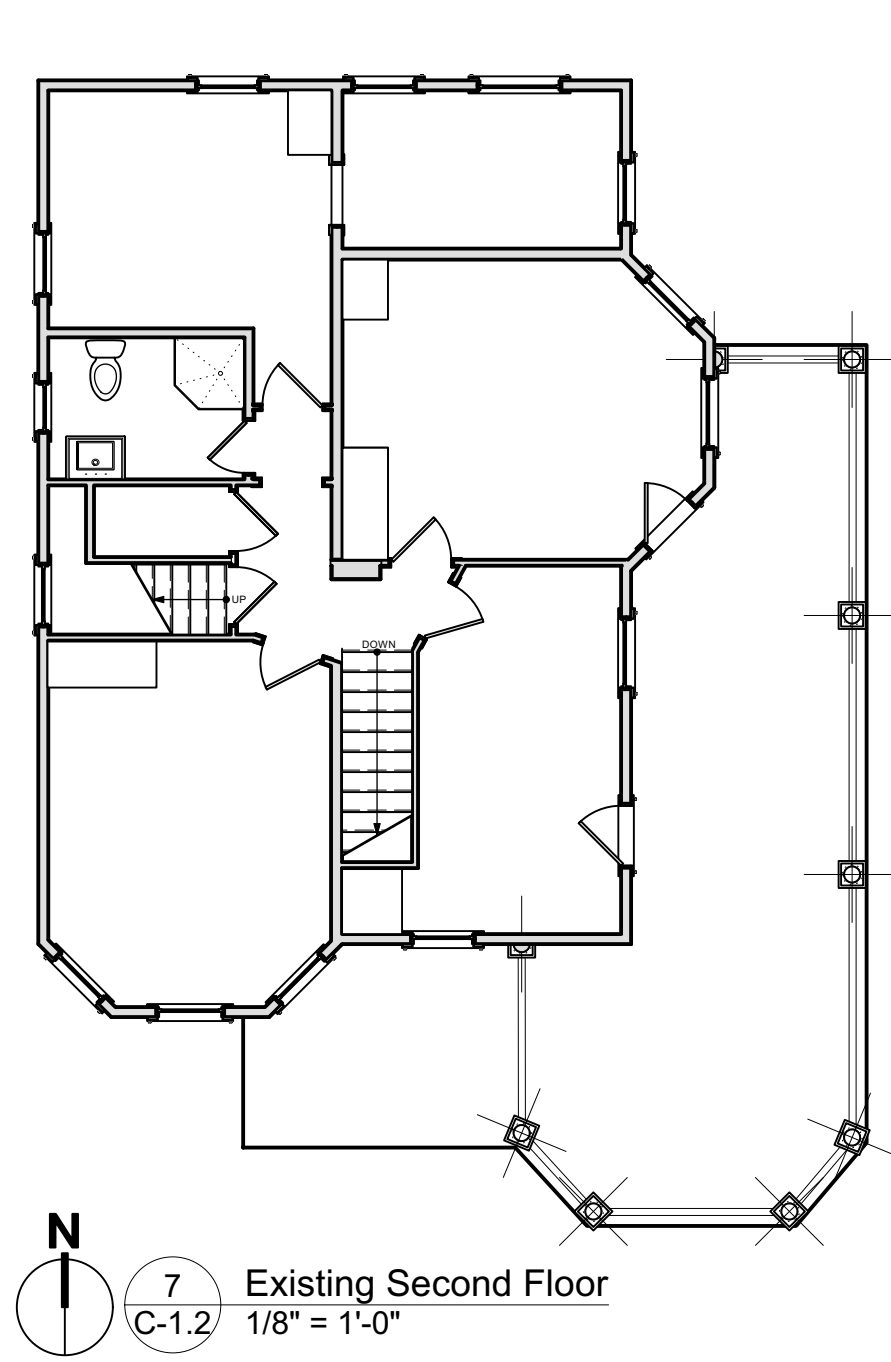
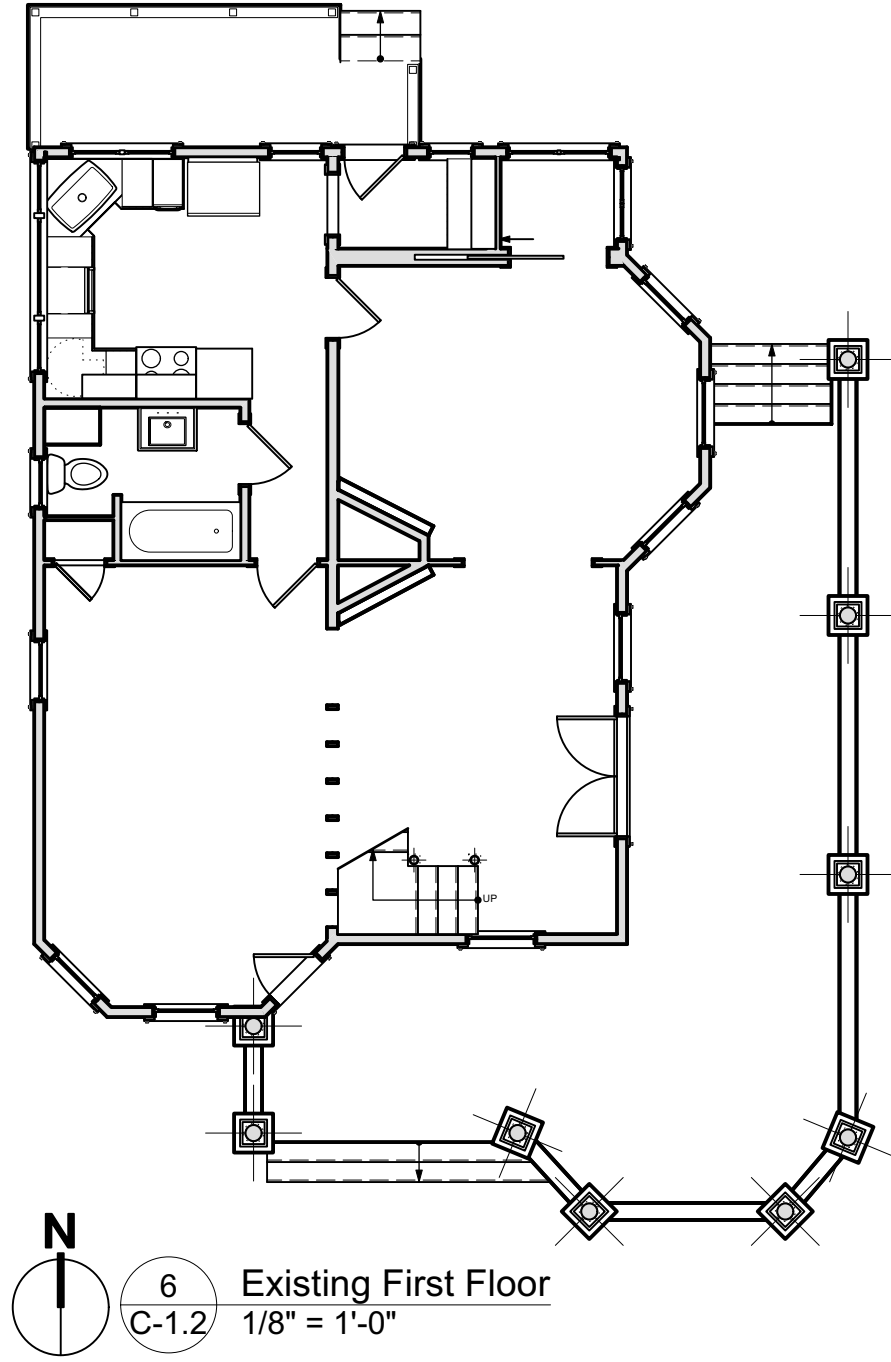
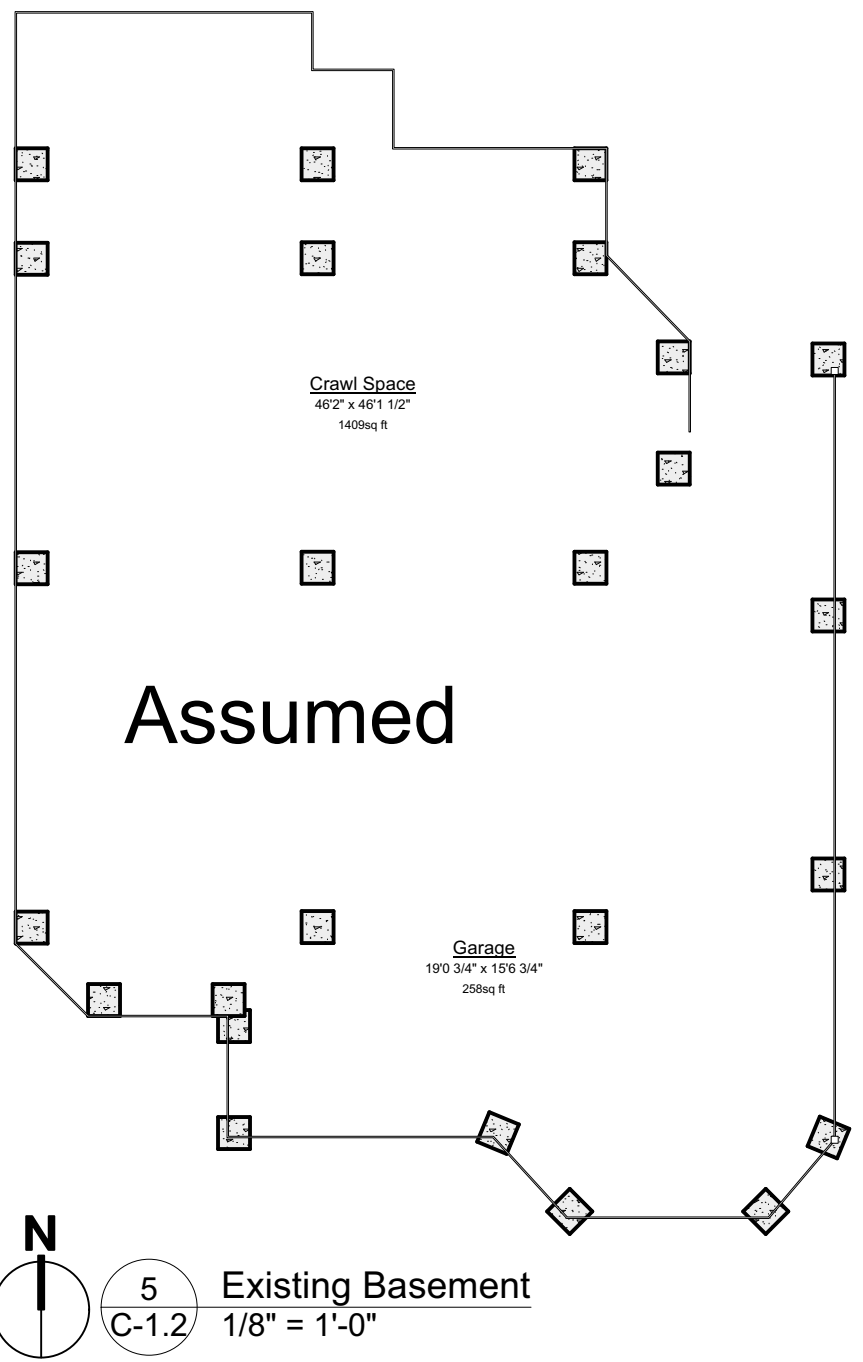
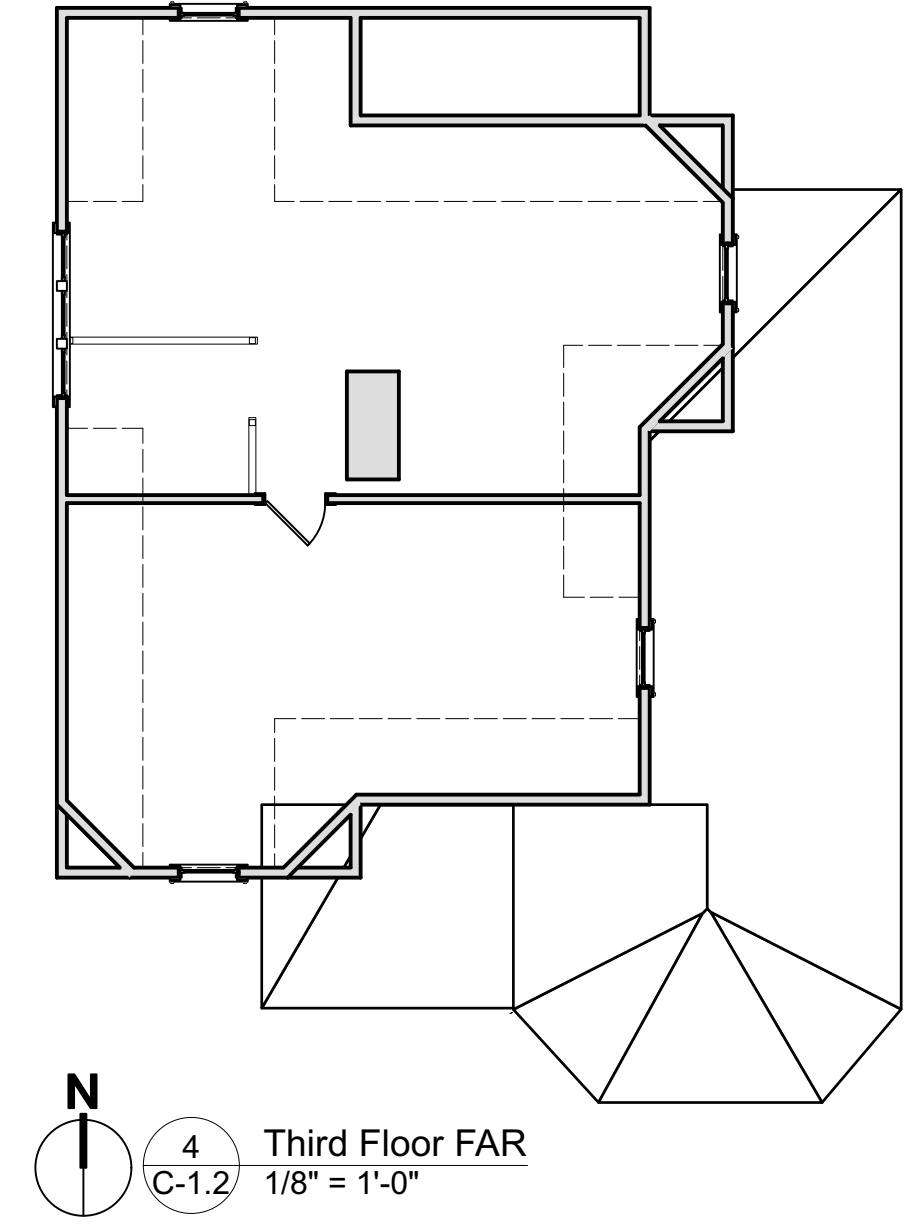
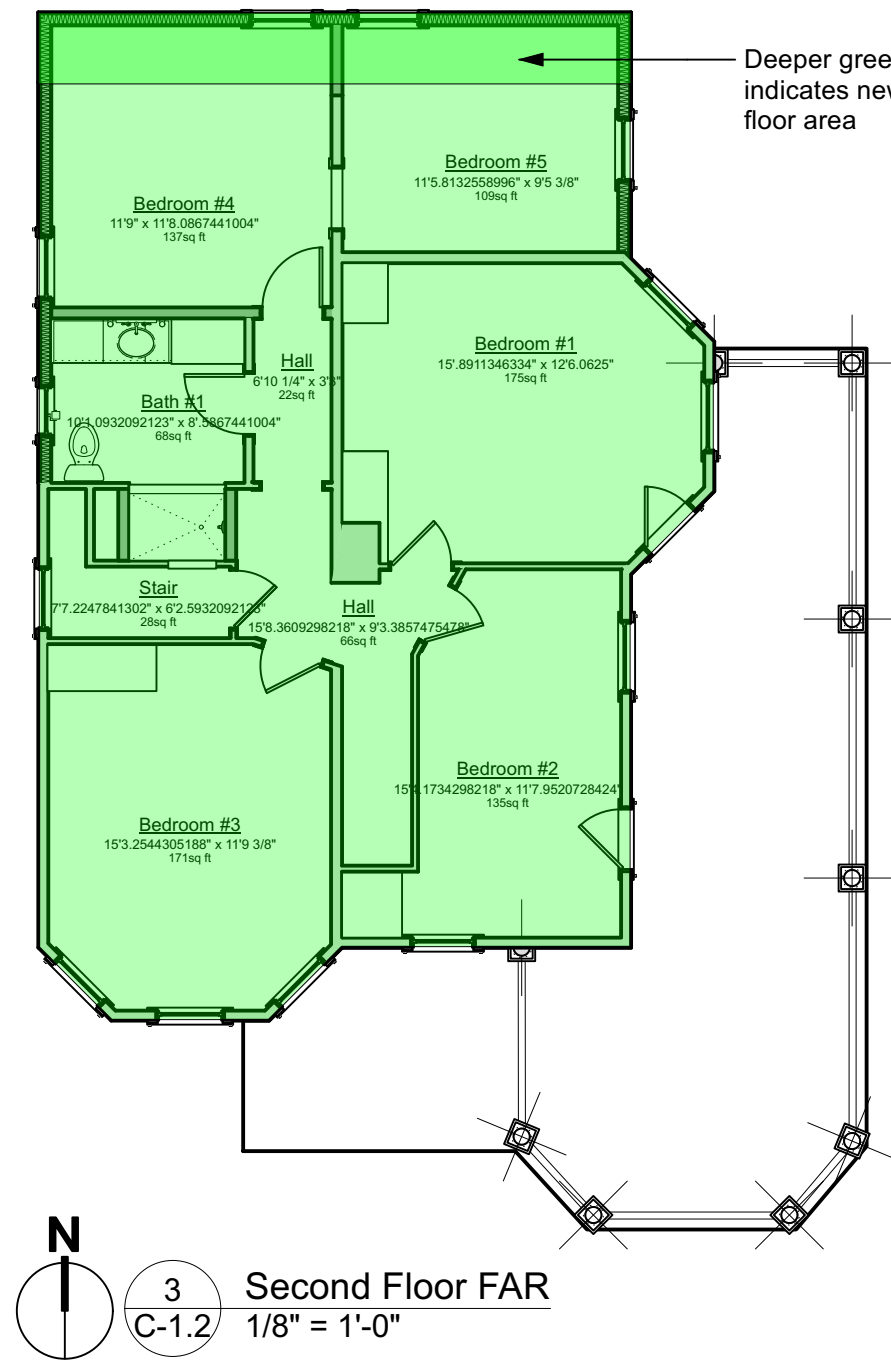
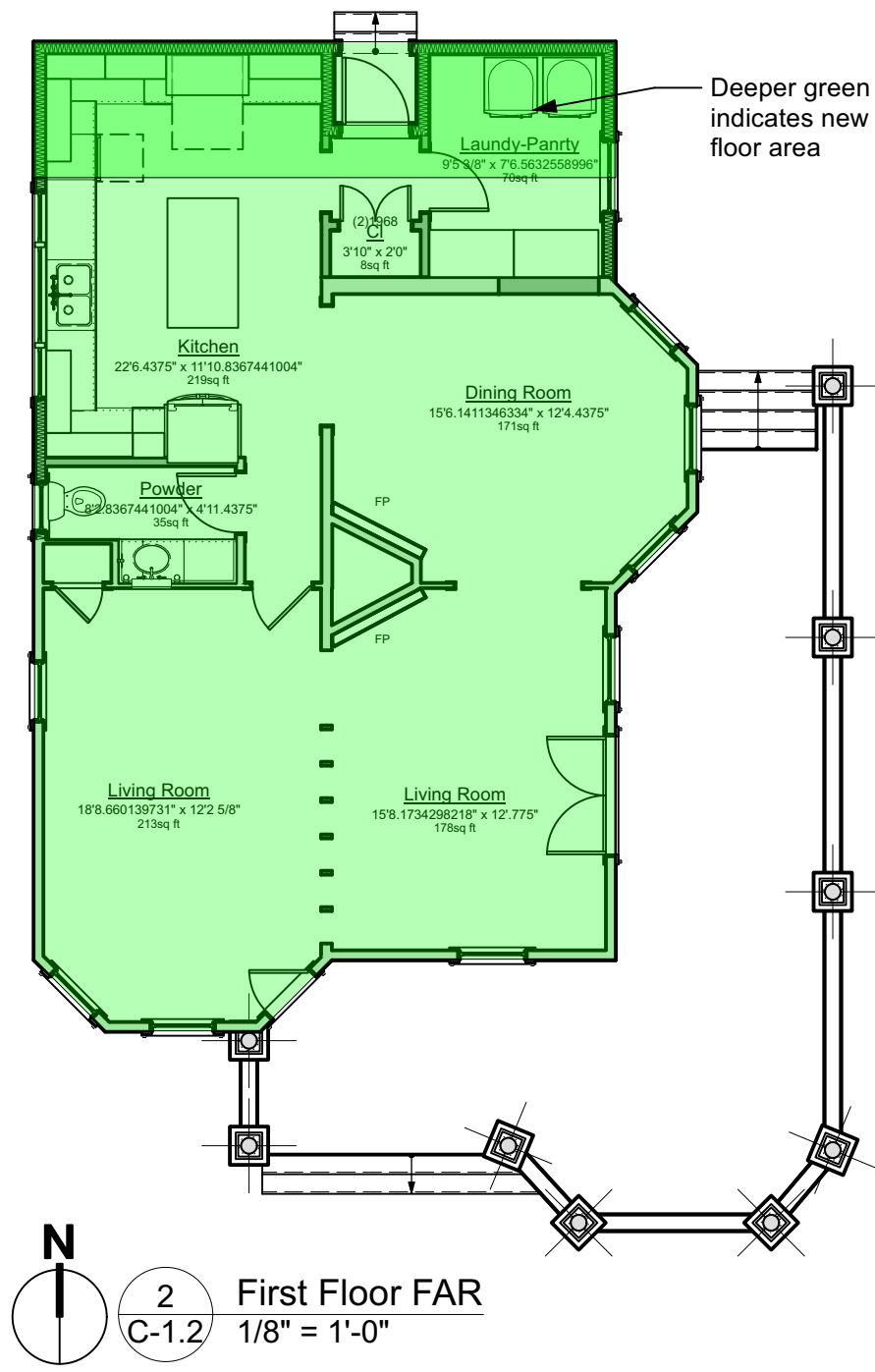
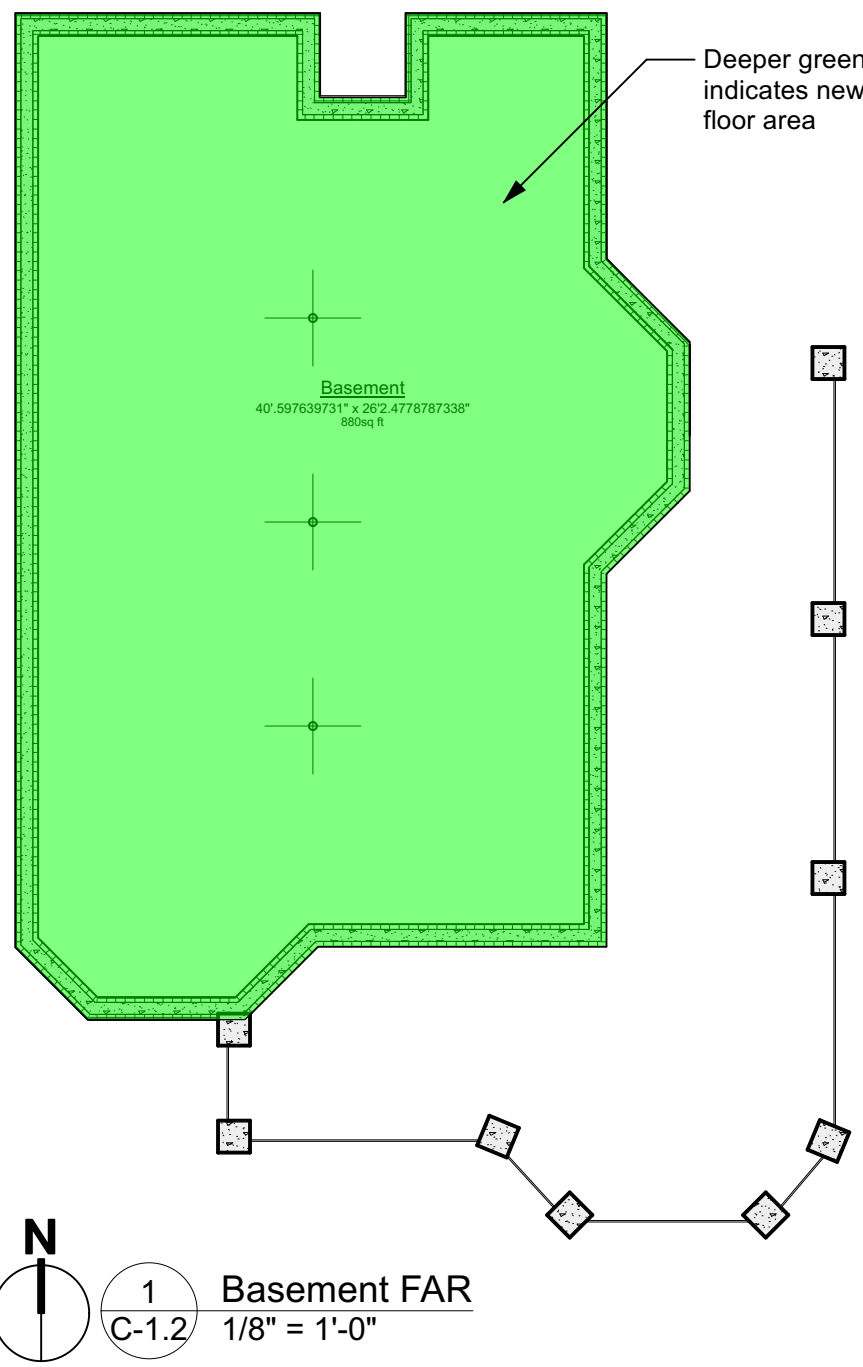
**Leslie Residence  
48 South lake  
Chautauqua NY 14722**

Drawn By	MBI
Date	03.28.2024
No.	Date

N  
1  
C-1.1 Survey  
1" = 10'-0"

Survey

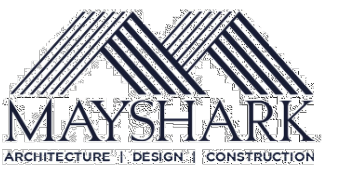
**C-1.1**



Neighborhood Traditional DISTRICT			
	Allowable	Existing	Proposed
Min. Lot Width	40'-0"	39'-6" Average	39'-6" Average
Min. Lot Area	2,000	2,197.5	2,197.5
Maximum FAR	1.0	.892	.910
Maximum ISR	75%	68%	70%
Building Ht. Eave	24'-0"	22'-2"	22'-2"
Building Ht. Roof	36'-0"	36'-0"	36'-0"

Existing Floor Area Ratio's	Area	FAR	Exempt	Subtotal
First Floor	877	.399	- .0	.399
Second Floor	944	.430	- .0	.430
Third Floor	537	.224	- .224	.000
<b>Total FAR</b>				<b>.829</b>

Proposed Floor Area Ratio's	Area	FAR	Exempt	Subtotal
Basement	1,007	.458	- .458	.000
First Floor	1,007	.458	- .0	.458
Second Floor	1,017	.462	- .0	.462
Third Floor	537	.224	- .224	.000
<b>Total FAR</b>				<b>.910</b>



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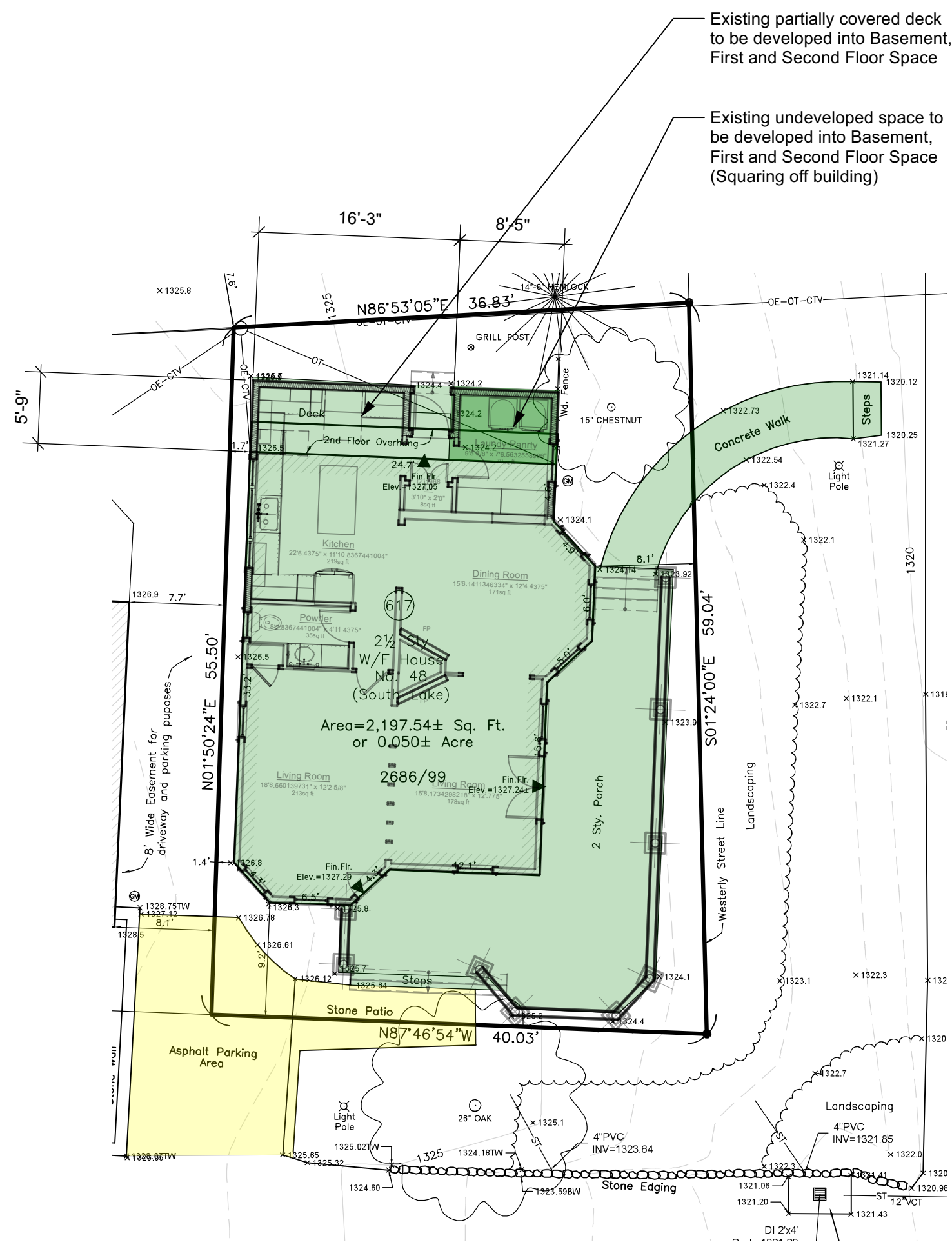
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Leslie Residence  
48 South lake  
Chautauqua NY 14722

Drawn By MBI  
Date 03.28.2024  
No. Date

FAR Compliance Plan

C-1.2



1 Impervious Surface Area Plan  
C-1.3 1" = 10'-0"

- Existing Impervious Surface
- Existing Crushed Stone Drive
- New Impervious Surface

Impervious Surface Ratio (ISR) - Worksheet			
Existing or Proposed			Proposed
Site Address			48 South Lake
Total Lot Area			2,198 sf
<b>Impervious Surfaces:</b>			
Total Building Footprint	1017 sf	X 100% =	1017 sf
Total Porches, Decks, Stairs, Steps	465 sf	X 100% =	465 sf
Total Concrete or Asphalt Walks or Drives	43 sf	X 100% =	43 sf
Total Gravel Walks & Drives	0 sf	X 90% =	0 sf
Total Crushed or Washed Stone Walks & Drives	82 sf	X 10% =	8.2 sf
Total Brick, Pavers, or Flagstone Set in Min. Sand or Gravel Base	0 sf	X 90% =	0 sf
Total Brick, Pavers, or Flagstone Set in Permeable Bed	0 sf	X 10% =	0 sf
Other	0 sf	X 10% =	0 sf
<b>Total Impervious Surface Area:</b>			1533.2
1533.2		/	2,198
<b>Total Impervious Surface Area</b>		Divided By	Total Lot Area
			= 0.697701934
			= ISR

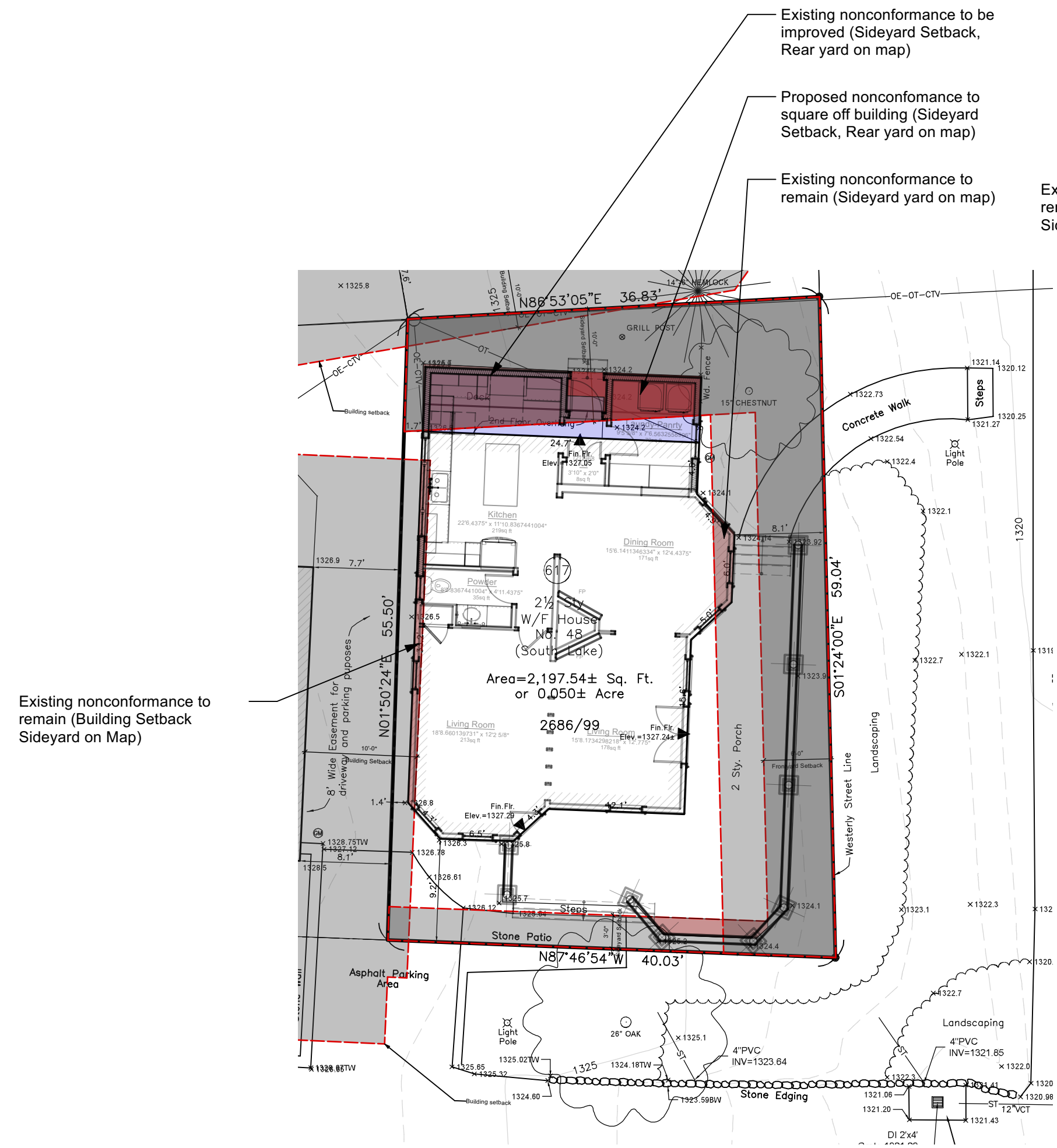


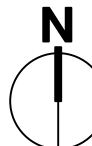

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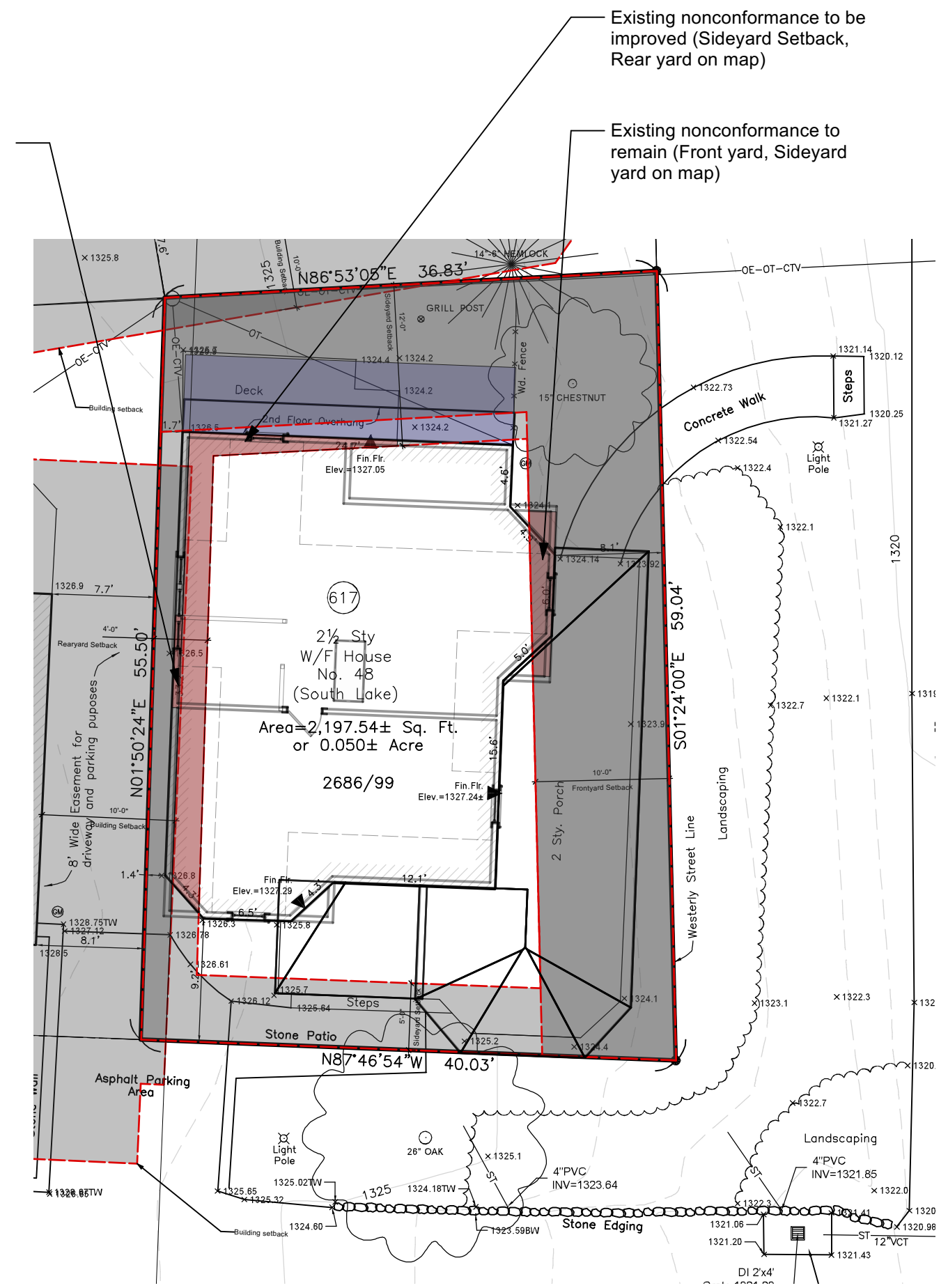
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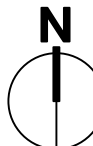

ISR Compliance Plan  
C-1.3





**1** Setbacks below 24' Plan  
 1" = 10'-0"

Existing nonconformance to remain (Building Setback Sideyard on Map)





**2** Setbacks above 24' Plan  
 1" = 10'-0"

Existing nonconformance to remain (Building Setback Sideyard on Map)

Existing nonconformance to be improved (Sideyard Setback, Rear yard on map)

Existing nonconformance to remain (Front yard, Sideyard yard on map)

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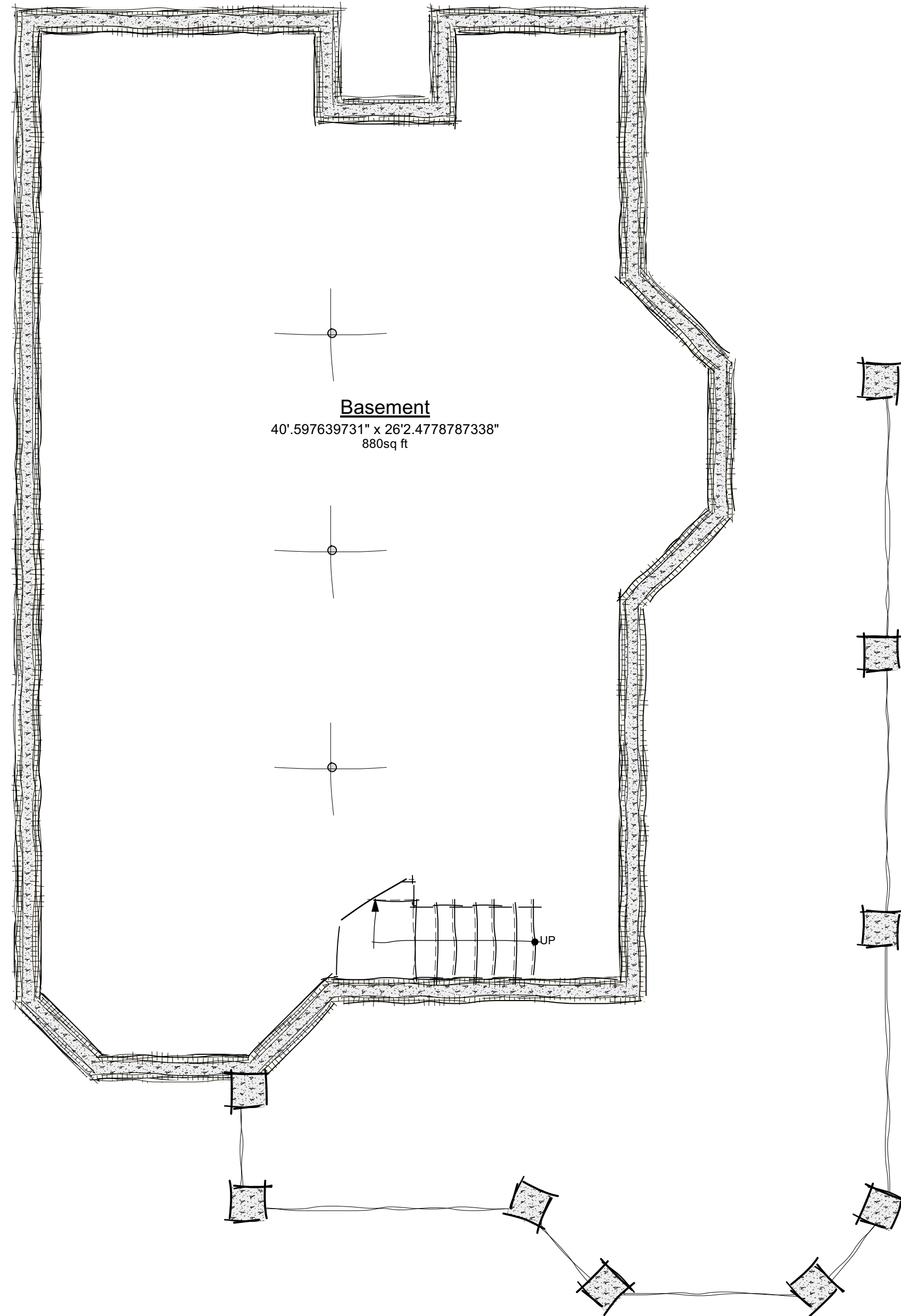
**Leslie Residence**  
**48 South lake**  
**Chautauqua NY 14722**

Drawn By **MBI**  
 Date **03.28.2024**  
 No.            Date

Compliance Plan

**C-1.4**





1 Basement Plan  
 A-1.0 1/4" = 1'-0"

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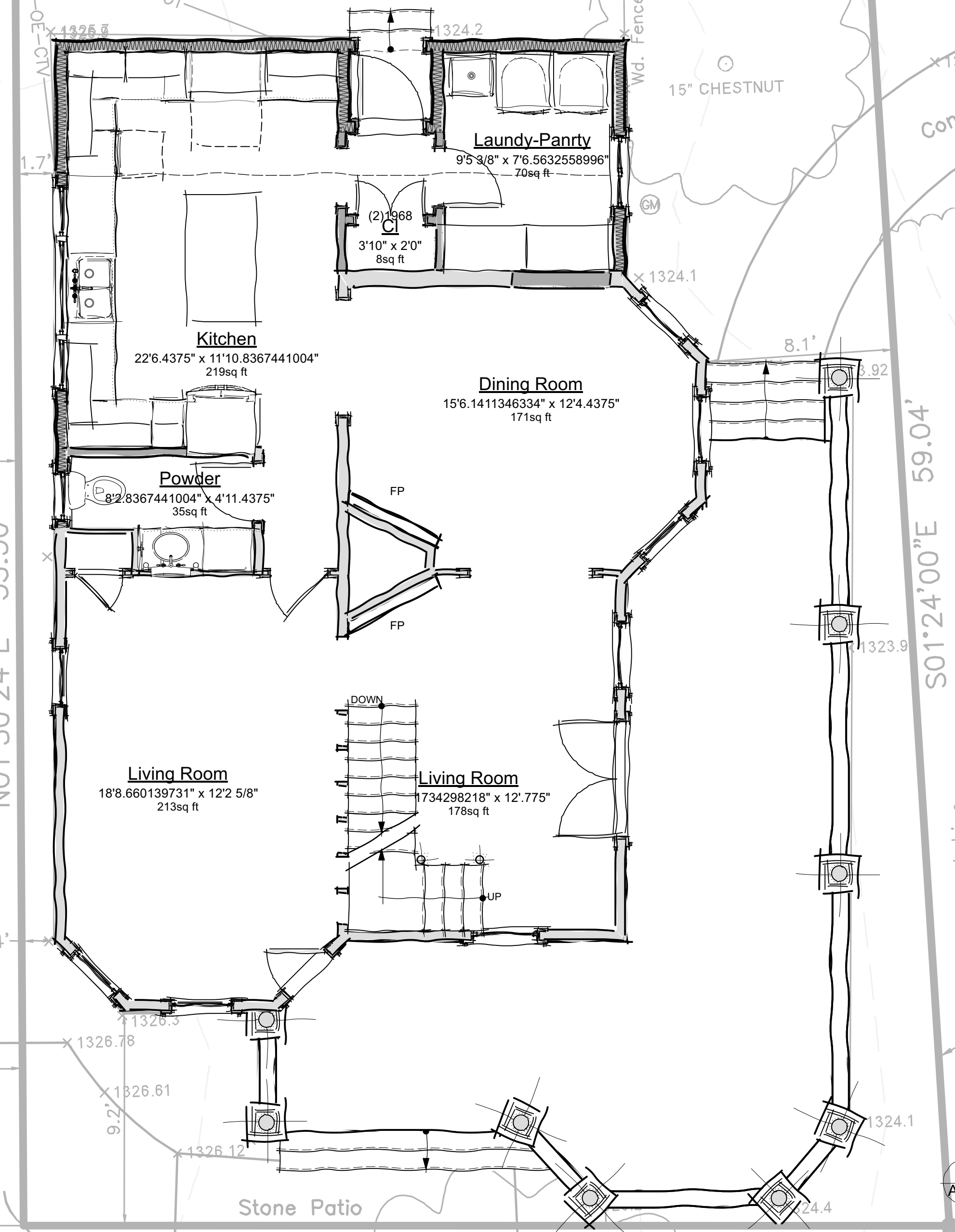
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Date	03.28.2024
No.	Date

Basement Plan

**A-1.0**

N/F Lands of  
Howard M. &  
Margaret N. Alex  
2684/715

2 1/2 Sty  
W/F House  
No. 4



1 First Floor Plan  
A-1.1 1/4" = 1'-0"



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**Leslie Residence**  
**48 South lake**  
**Chautauqua NY 14722**

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Date 03.28.2024  
No. Date

First Floor Plan  
Option 1  
**A-1.1**  
Landscaping  
© 2023 Mayshark Architecture  
4" PVC  
INV=1321.85

Asphalt Walkway  
"Promenade"

Stone Wall

Westerly Street Line

Northerly Street Line

Asphalt Parking Area

Concrete Walk

Patio

Porch

543

X 1325.8

N86°53'05"E 36.83'

N01°50'24"E 55.50'

S01°24'00"E 59.04'

N87°46'54"W 40.03'

1320

1320.44

1320.7

1322.0

X 1328.75TW

X 1327.12

1328.5

X 1326.5

X 1326.78

X 1326.61

X 1326.12

X 1326.5

X 1326.61

X 1326.12

X 1326.12

26" OAK

X 1325.1

4" PVC

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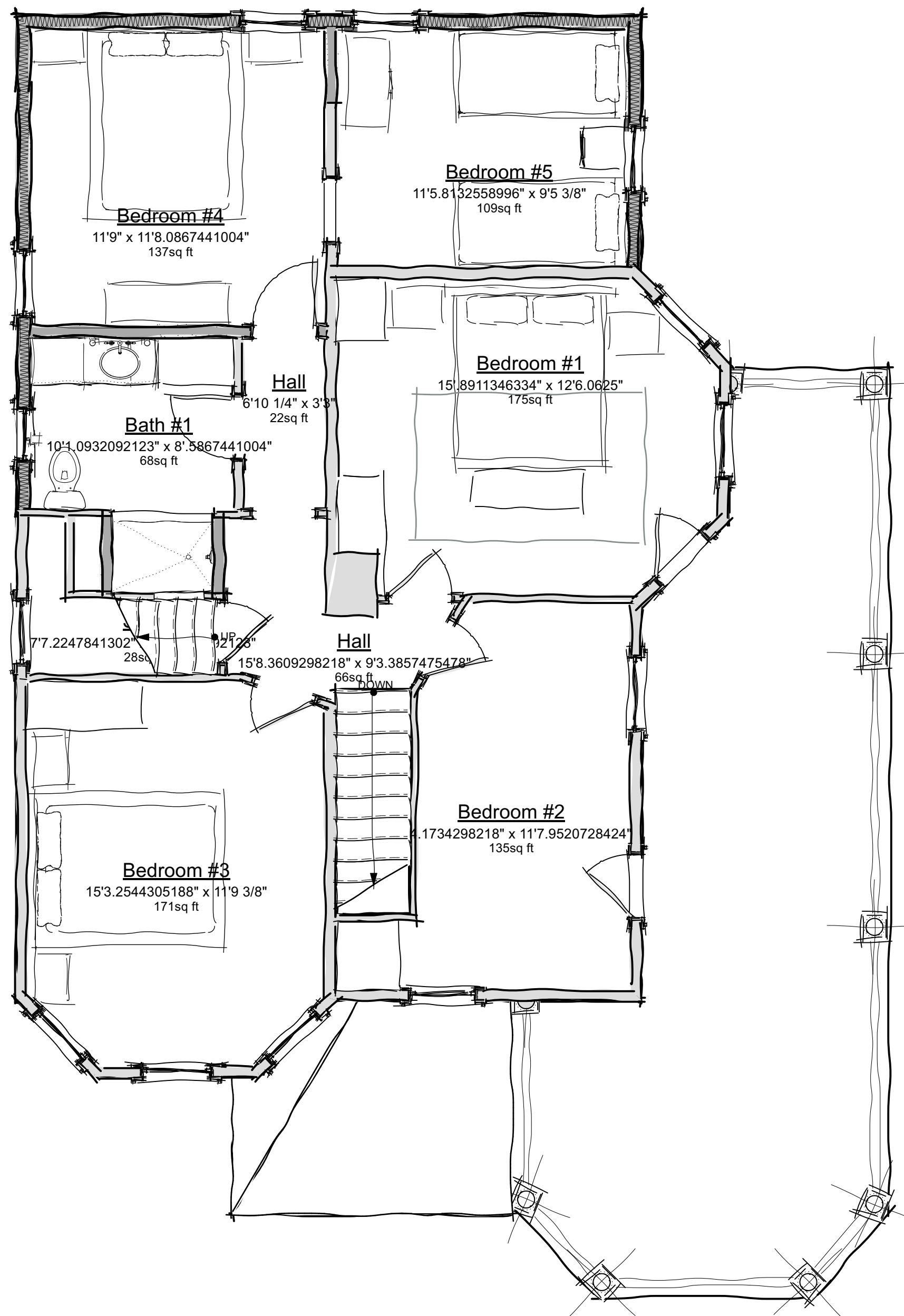
1322.4

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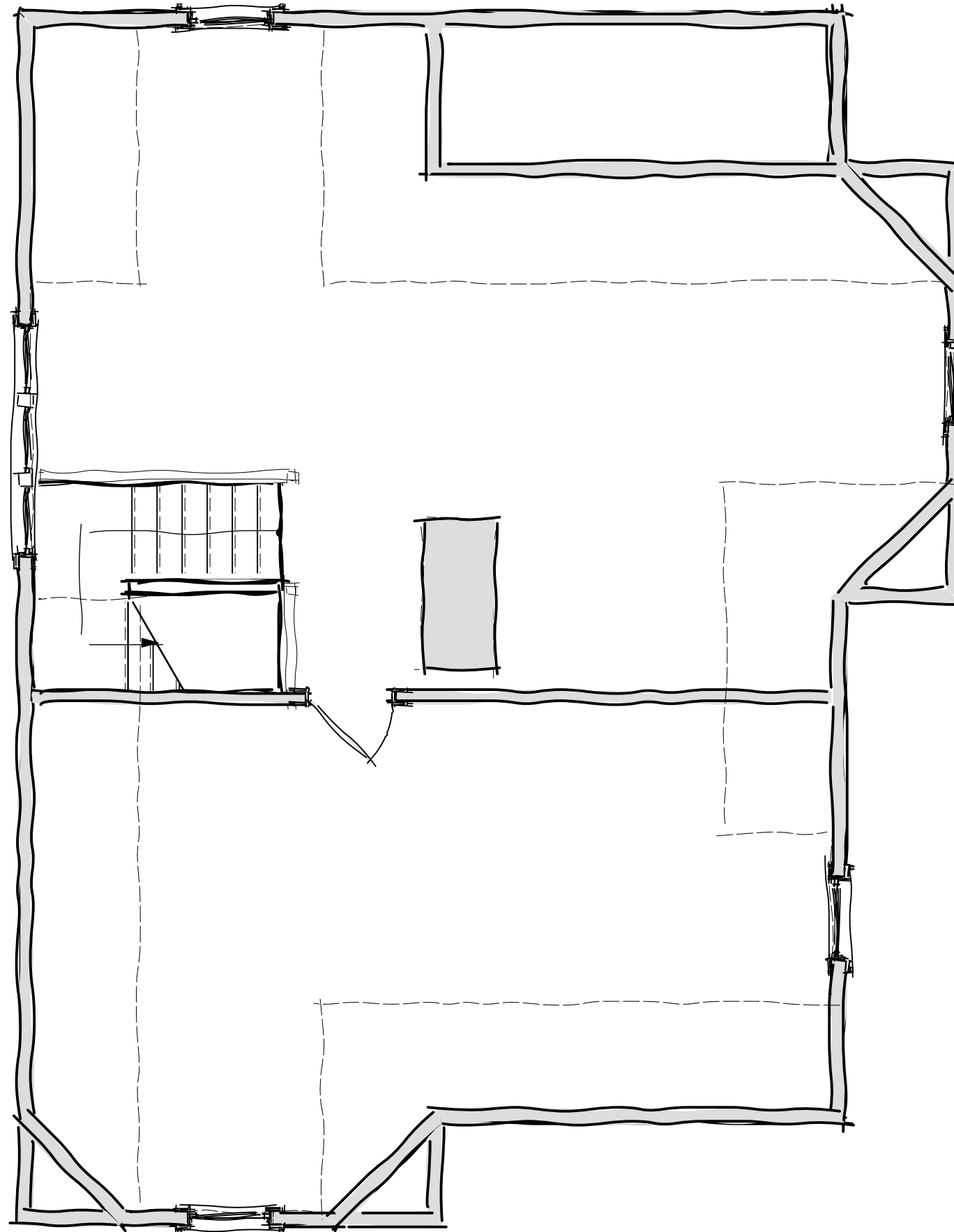
1 Second Floor Plan  
A-1.2 1/4" = 1'-0"

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**48 South lake**  
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No.	Date

Second Floor Plan  
Option 1  
**A-1.2**



2 Third Floor Plan  
A-1.3 1/4" = 1'-0"

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**48 South lake**  
**Chautauqua NY 14722**

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Third Floor Plan  
 Option 1

A-1.3



1 East Elevation  
A-4.1 1/4" = 1'-0"

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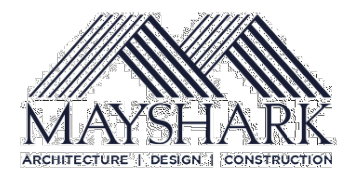
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East Elevation  
**A-4.1**



1 South Elevation  
 A-4.2 1/4" = 1'-0"



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Drawn By	MBI
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No.	Date

South Elevation

A-4.2



2 West Elevation  
A-4.3 1/4" = 1'-0"



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No.	Date

West Elevation

A-4.3



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1 North Elevation  
A-4.4 1/4" = 1'-0"

Leslie Residence  
48 South lake  
Chautauqua NY 14722

Drawn By	MBI
Date	03.28.2024
No.	Date

North Elevation

A-4.4