



## OFFICE OF CAMPUS PLANNING & OPERATIONS

### ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

March 28<sup>th</sup> 2025

Dear Chautauquan,

The owners of 3 Bowman, Dean and Valarie Shostak, are requesting to come before the Architectural Review Board for the scope of work for renovation and rehabilitation of their house and the addition of a new basement to replace the current foundations. The scope of work proposes partial demolition to rehabilitate the rear side of the house with an encroachment into the 10'-0" rear yard setback as well as encroachment into the 5'-0" side yard setback as part of the basement addition. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variances/Requests being considered:

1. Variance for encroachment 1'-6" into the interior side yard setback with the addition of a basement (Architectural and Land Use Regulations Section 4.3.6)
2. Variance for the scope of work including partial demolition to the rear side of the building (Architectural and Land Use Regulations Section 2.1.65)
3. Variance for encroachment 1'-4" into the 10'-0" rear yard setback for the rehabilitation of the rear side of the house (Architectural and Land Use Regulations Section 4.3.6)

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project's scope of work may be reviewed online at the Architecture Review Board (ARB) News and Notes Page at the following link:

[www.chq.org/ARB](http://www.chq.org/ARB)

PO Box 28 • Chautauqua, NY 14722  
716.357.6245 • 716.357.9014 (fax)  
[ARB@chq.org](mailto:ARB@chq.org) • [chq.org](http://chq.org)

The Architectural Review Board will meet on **May 1<sup>st</sup> 2025 at 12:00pm Noon in the Turner Community Center Conference Room.** Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at [arb@chq.org](mailto:arb@chq.org) until 12:00pm noon the day before on April 30<sup>th</sup> 2025 at 12:00pm Noon.

Thank you for your time!

Respectfully,



**Ryan B. Boughton, Assoc. AIA**

Administrator of Architectural and Land Use Regulations

[rboughton@chq.org](mailto:rboughton@chq.org) | o: 716.357.6245

**Shostak Cottage**

3 Bowman Ave  
Chautauqua, NY 14722



**DRAWING INDEX:**

CS-1	Cover Sheet
C-1	Site Plan
ARCHITECTURAL	
A-1	Foundation Plan
A-2	First Floor Plans
A-3	Second Floor Plans
A-4	South Elevation
A-5	West Elevation
A-6	East Elevation

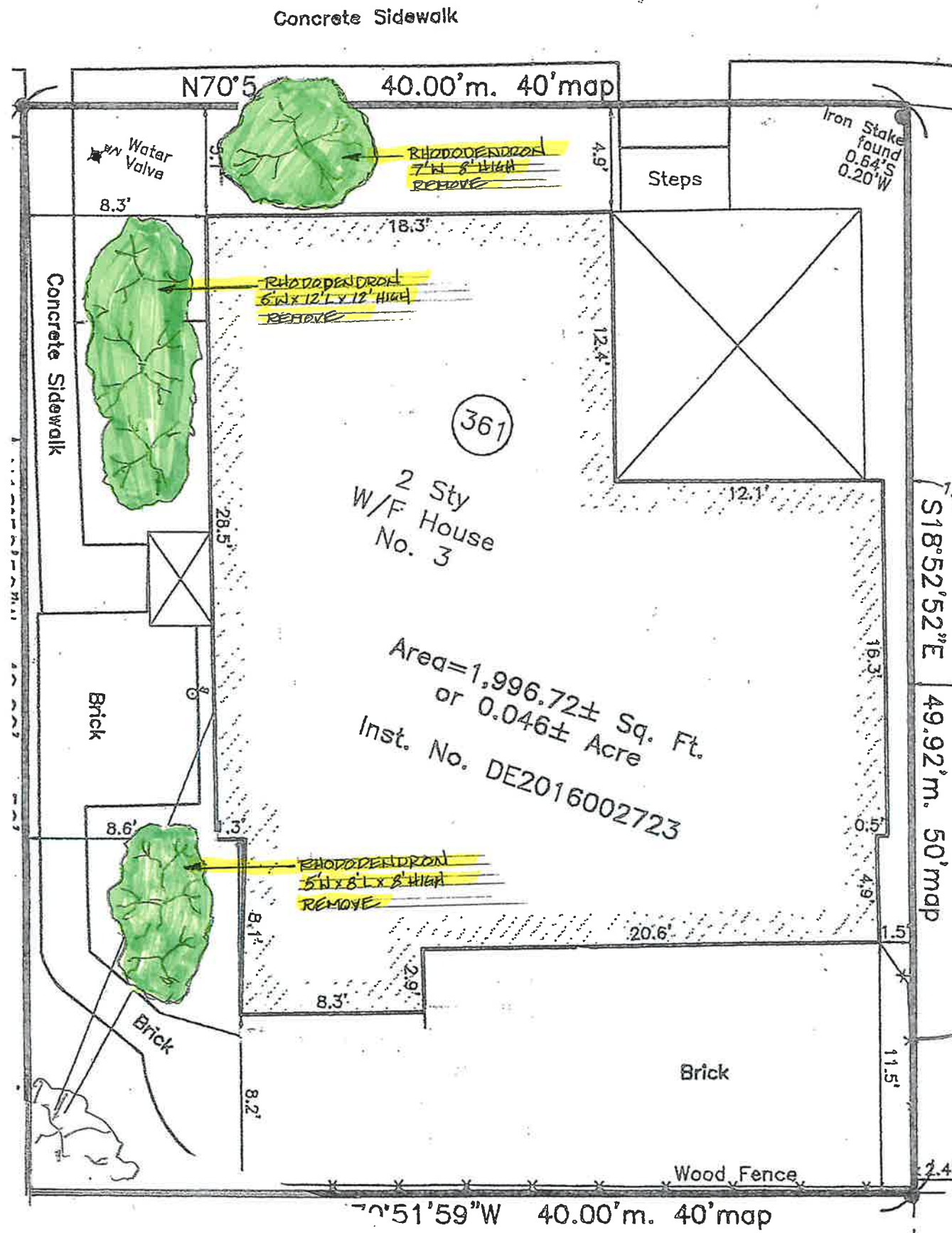
Shostak Cottage  
3 Bowman Avenue  
Chautauqua, NY 14722

Drawn By	
Date	3/12/25
No.	
Date	

Cover Sheet  
CS-1







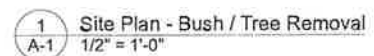
1 Site Plan - Bush / Tree Removal  
C-1 3/8" = 1'-0"



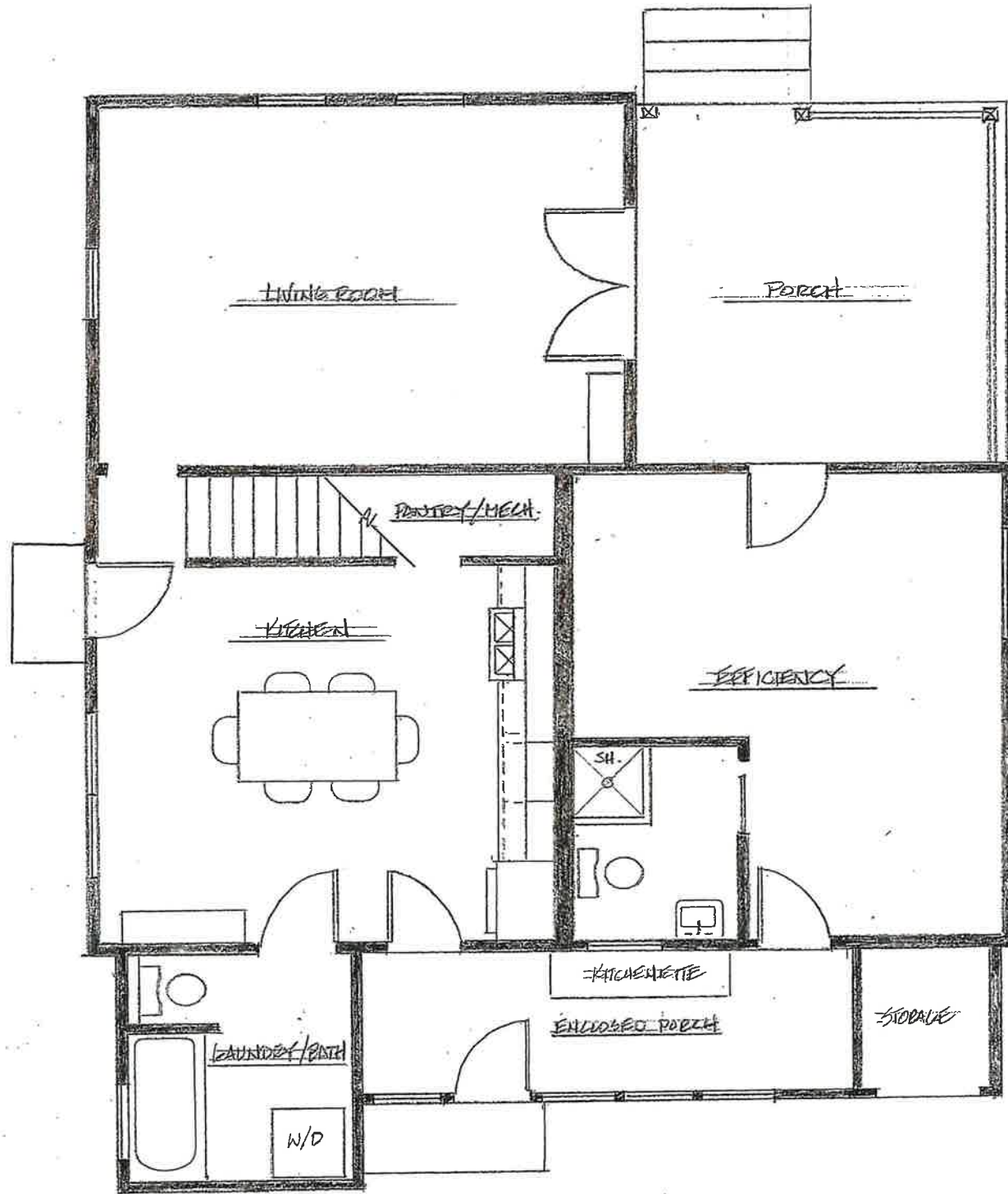
Shostak Cottage  
3 Bowman Avenue  
Chautauqua, NY 14722

Drawn: 5/23/24  
No. Date

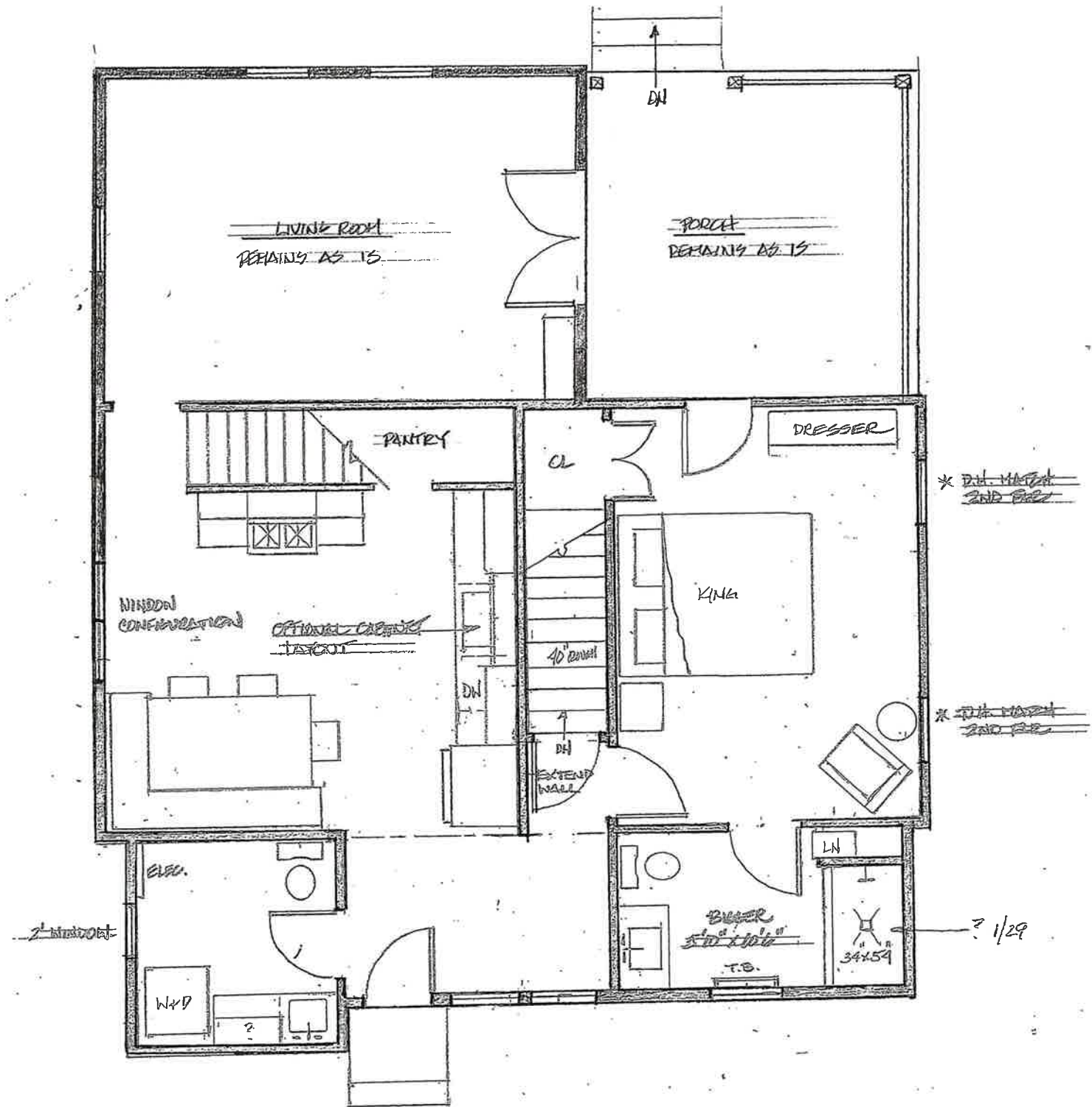
Site Plan  
C-1







1 First Floor Plan - Existing  
A-2 1/2" = 1'-0"



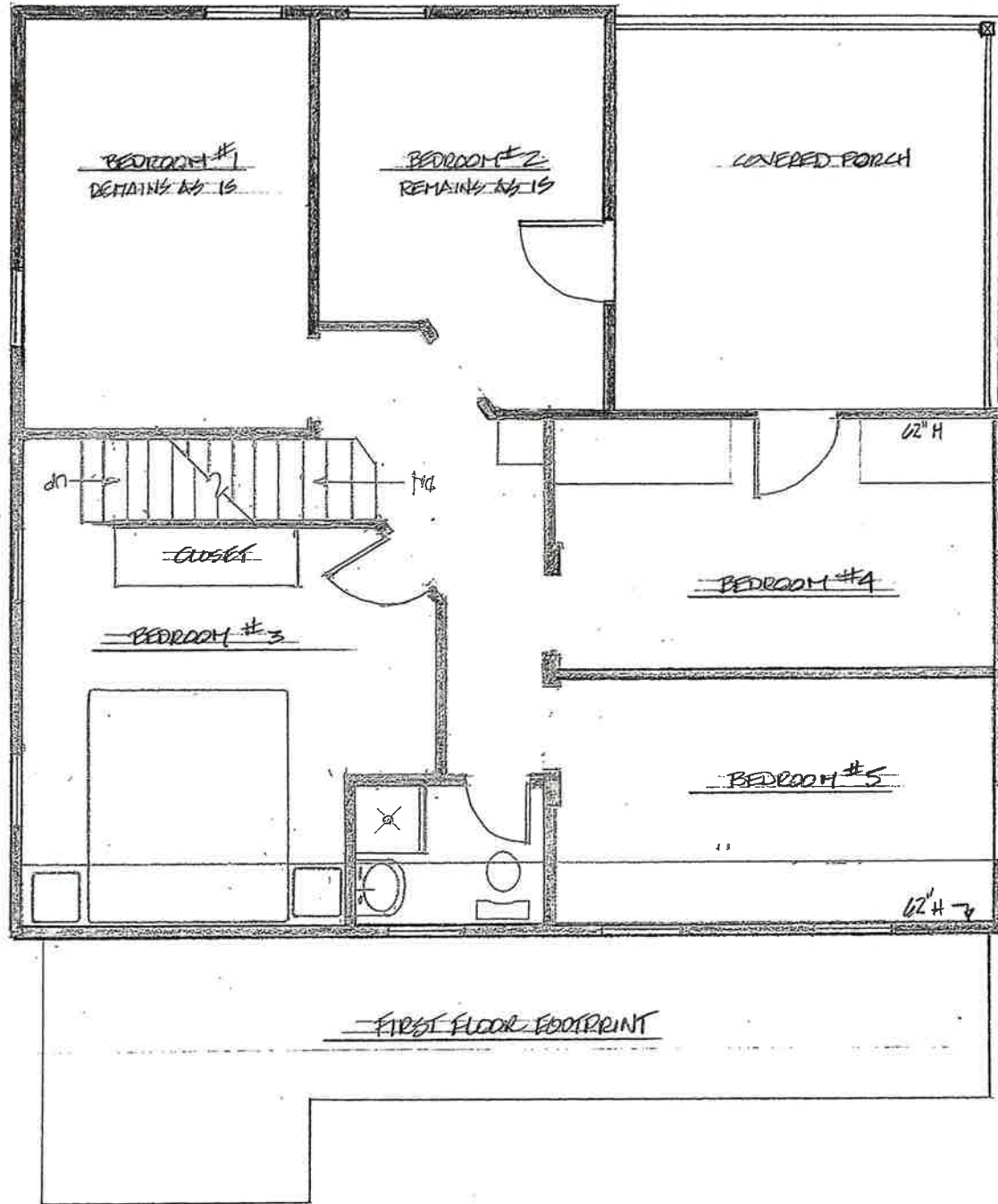
2 First Floor Plan - Proposed  
A-2 1/2" = 1'-0"



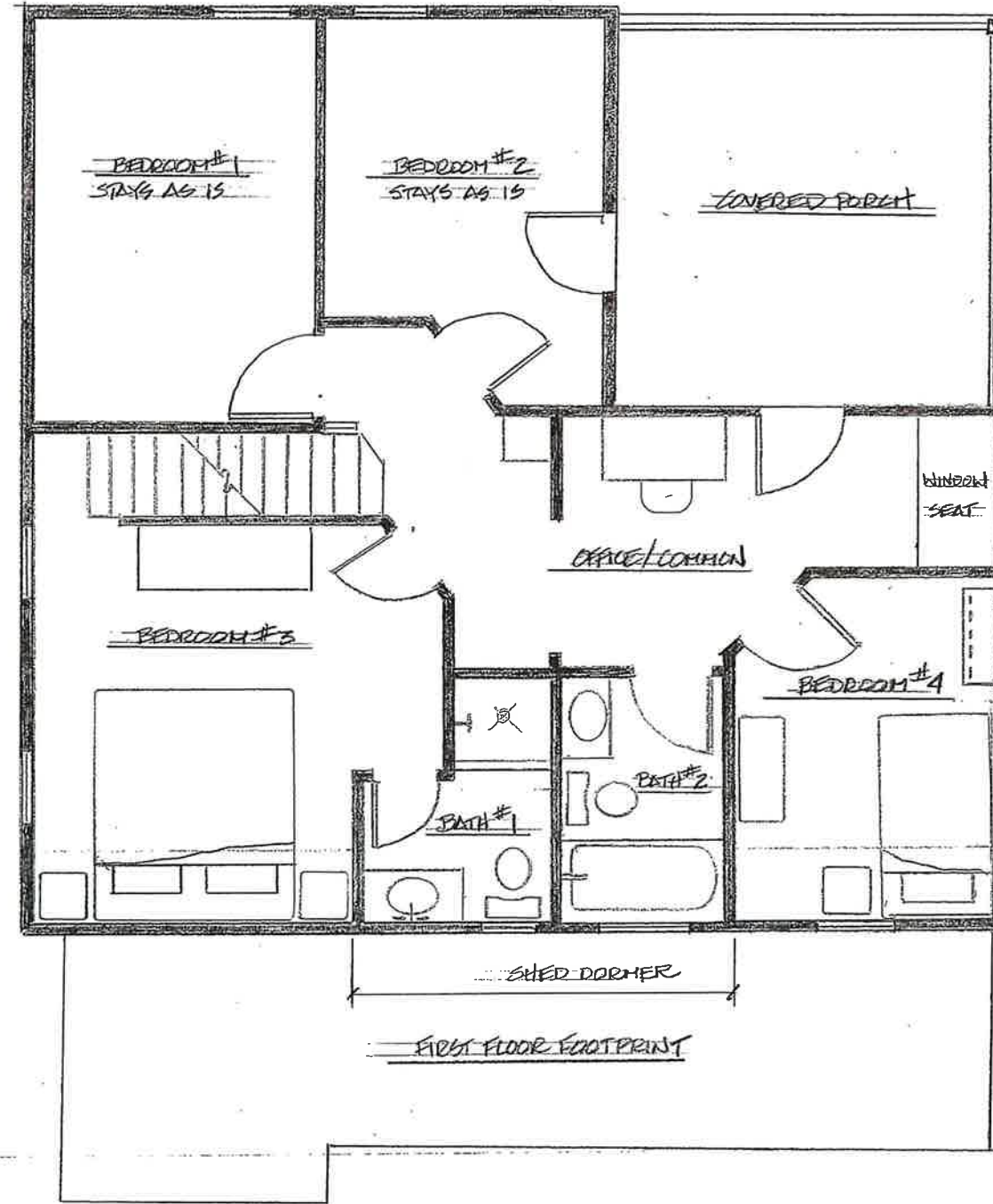
Shostak Cottage  
3 Bowman Avenue  
Chautauqua, NY 14722

Drawn by: 2/2/24  
No. Date

First Floor Plan  
A-2



1 Second Floor Plan - Existing  
A-3 1/2" = 1'-0"

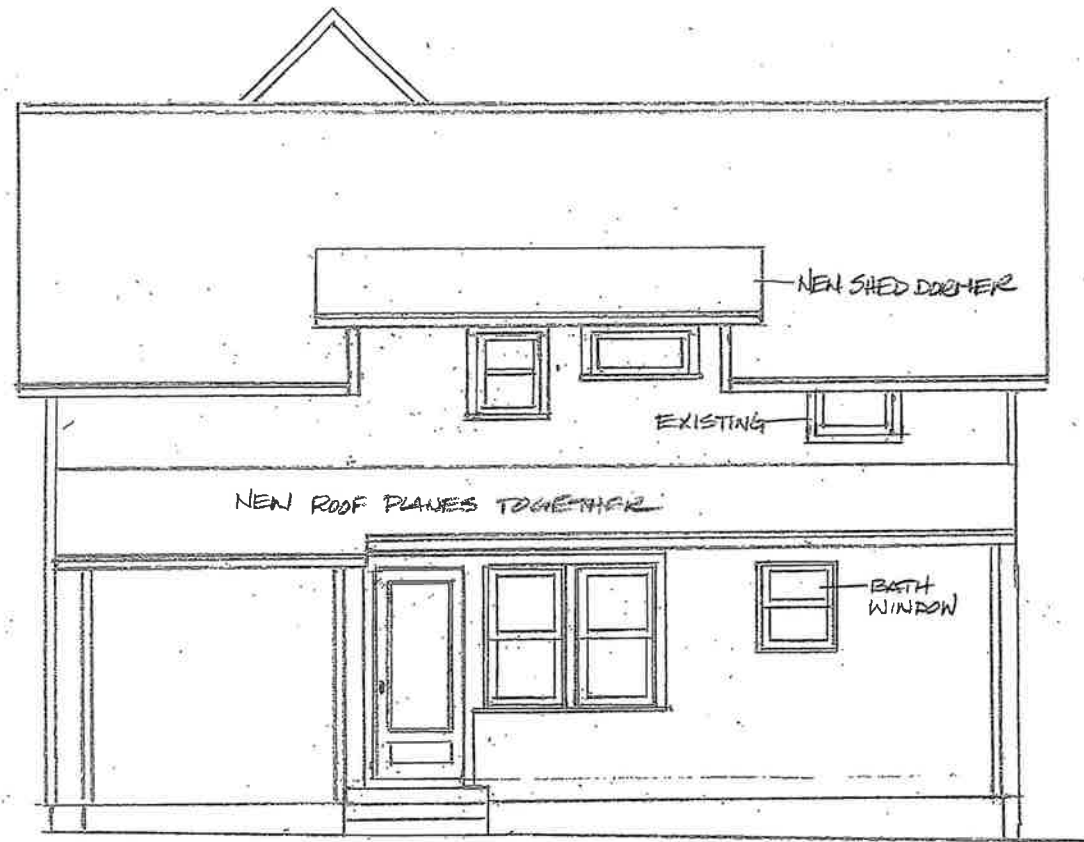


2 Second Floor Plan - Proposed  
A-3 1/2" = 1'-0"





1 South Elevation - Existing  
A-4 3/8" = 1'-0"



2 South Elevation - Proposed  
A-4 3/8" = 1'-0"







1 South Elevation - Existing  
3/8" = 1'-0"



2 South Elevation - Proposed  
3/8" = 1'-0"

NEW FOUNDATION HEIGHT  
12" ABOVE GRADE





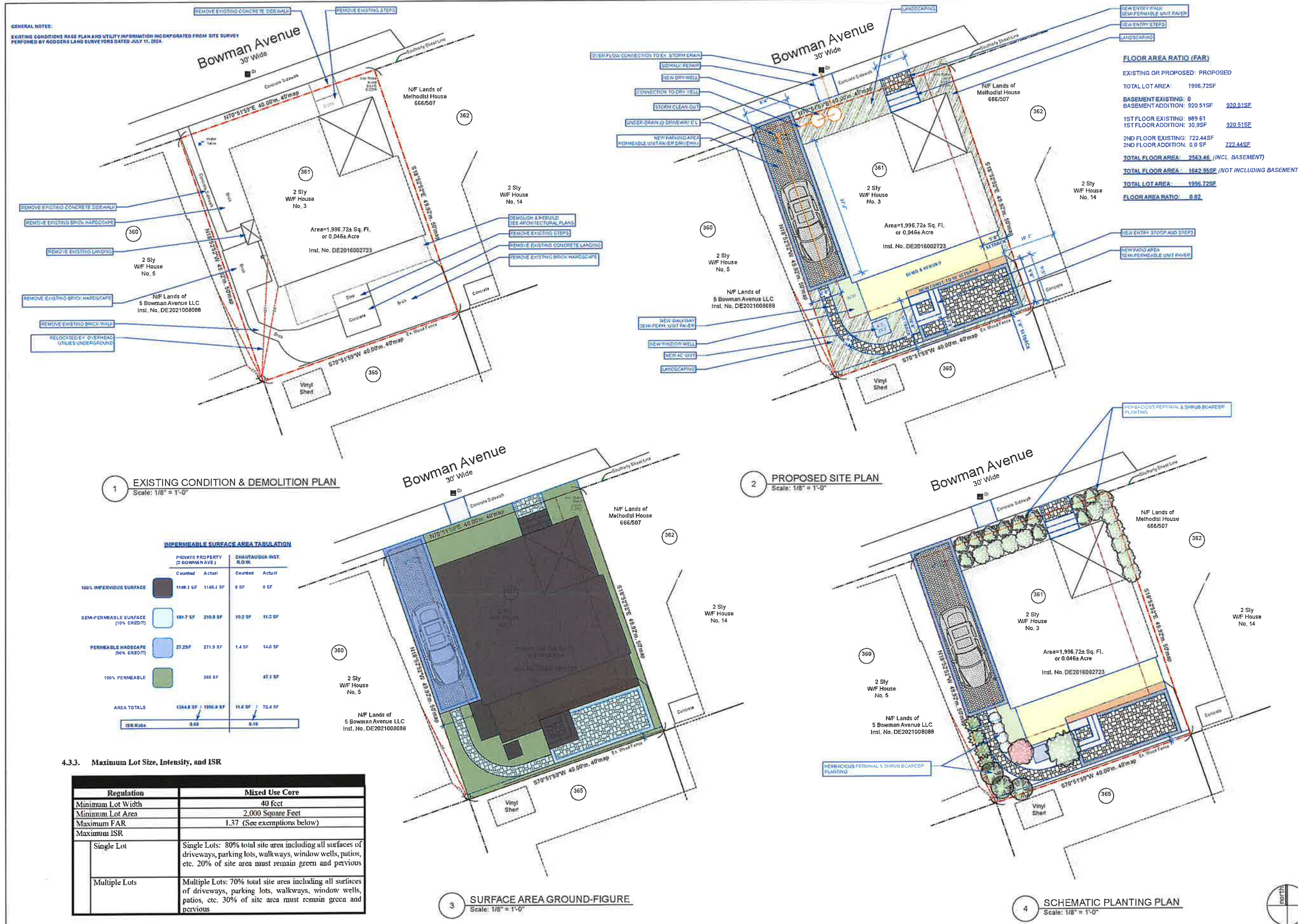
1 East Elevation - Existing  
3/8" = 1'-0"



2 East Elevation - Proposed  
3/8" = 1'-0"







GENERAL NOTES:  
EXISTING CONDITIONS BASE PLAN AND UTILITY INFORMATION INCORPORATED FROM SITE SURVEY  
PERFORMED BY RODGERS LAND SURVEYORS DATED JULY 11, 2024.

**FLOOR AREA RATIO (FAR)**

EXISTING OR PROPOSED:	PROPOSED
TOTAL LOT AREA:	1996.72SF
BASEMENT EXISTING:	0
BASEMENT ADDITION:	920.51SF
1ST FLOOR EXISTING:	869.61
1ST FLOOR ADDITION:	30.95F
2ND FLOOR EXISTING:	722.44SF
2ND FLOOR ADDITION:	0.0 SF
TOTAL FLOOR AREA:	2463.46 (INCL. BASEMENT)
TOTAL FLOOR AREA:	1642.95SF (NOT INCLUDING BASEMENT)
TOTAL LOT AREA:	1996.72SF
FLOOR AREA RATIO:	0.82

**IMPERMEABLE SURFACE AREA TABULATION**

	PRIVATE PROPERTY (5 BOWMAN AVE.)		CHAUTAUQUA INST. R.D.W.	
	Counted	Actual	Counted	Actual
100% IMPERVIOUS SURFACE	1148.1 SF	1148.1 SF	0 SF	0 SF
SEMI-PERMEABLE SURFACE (10% CREDIT)	189.7 SF	210.8 SF	10.2 SF	11.2 SF
PERMEABLE HARDSCAPE (50% CREDIT)	27.25F	271.9 SF	1.4 SF	14.0 SF
100% PERMEABLE		366 SF		47.8 SF
AREA TOTALS	1365.0 SF	1564.8 SF	11.6 SF	72.4 SF
ISR R206	0.63		0.16	

**4.3.3. Maximum Lot Size, Intensity, and ISR**

Regulation	Mixed Use Core
Minimum Lot Width	40 feet
Minimum Lot Area	2,000 Square Feet
Maximum FAR	1.37 (See exemptions below)
Maximum ISR	
Single Lot	Single Lots: 80% total site area including all surfaces of driveways, parking lots, walkways, window wells, patios, etc. 20% of site area must remain green and pervious
Multiple Lots	Multiple Lots: 70% total site area including all surfaces of driveways, parking lots, walkways, window wells, patios, etc. 30% of site area must remain green and pervious

**Leaf+Stone**  
Landscape Architecture

5363 Dean Road  
Stockton, New York 14784  
716-952-4688  
www.leafandstonelandscape.com

**SHOSTAK RESIDENCE**

3 BOWMAN AVENUE  
CHAUTAUQUA, NY

PERMIT SUBMISSION  
NOT FOR CONSTRUCTION

SEAL OF THE STATE OF NEW YORK  
LANDSCAPE ARCHITECT  
JAMES W. RILEY  
002346

LEAF & STONE LANDSCAPE ARCHITECTURE

REV	DATE	DESCRIPTION

NO	DATE	ISSUE NOTE

Project Manager: JWR & PLB  
Date: 3/19/25  
Reviewed By: JWR  
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Sheet Title: SITE PLANS

Sheet No: L 1.0