

Project Description

The project scope includes the renovation of an existing house. The house was stripped of all interior finishes by the previous owners and the current owners seek to renovate the home with improvements. These improvements include an expanded wraparound porch that is stylistically compatible to what was originally on the house. This can be seen from early reference images of the home. It also includes a single covered parking spot under the porch for the owners of the home.

The current size and location of the home in a Neighborhood Traditional district is causing us to seek clarifications on potential variances as we proceed with the project. These items are listed below.

- Use matrix 4.1 lists parking as allowing as "accessory to use" We have designed the project to allow for a single covered space adjacent to the house. Open parking space is required to be 18" from the lot line. An enclosed bay parking space is included in our proposed side yard setback variance.
- The wraparound porch is able to further conceal a car if a variance is allowed for the interior side yard setback requirement on the east side of the lot (4.4.6). The side yard setback is 10' and any porch lies within that setback including the existing porch. Rebuilding or restoring the existing is grandfathered/allowed in the current code. The existing porch is roughly four feet within the setback and six feet from the lot line. The proposed porch is 8'-10' into the setback and 1'-2" from the lot line. This variance needs to be reviewed and approved by the board.
- In an effort to allow for this parking space, and to keep it concealed beneath a wraparound porch, we raised the first floor of the house roughly 18". We will seek a variance to allow for the added roof height over 36' stipulated in (4.4.5) to 38'-8". Please note, the original house roof was at 37'-2" in height to the highest point before and modification. All heights are approximate. Surveying needs to include topography and floor heights. 18" is the code max allowed in adding a basement. The first floor is required to be no more than thee feet over grade after modifications and we are at 4' roughly. (5.1.5). This variance needs to be reviewed and approved by the board. The sloping lot is a practical difficulty.
- We seek a variance on the FAR maximum (4.4.3) from 1.0 to 1.06. The house was slightly overbuilt before any new was planned and we are adding an additional 28 SF for a closet and circulation space within the house.
- The house has previously operated as a hotel/boarding house/rooming house. In the absence of current commercial use shown for the home, The owners intend to renovate the home with a primary unit for themselves and 3 units for guests for short term stays. Under the Single-family use classification, we are able to permit this as a "bed and breakfast" in the neighborhood traditional district.

Design Loads

Seismic Design Category:	"B"
Wind Speed (mph):	115
1. Floor Live Loads:	
First Floor:	40 psf
Second Floor:	30 psf
Floor Dead Loads:	10 psf
2. Roof Live Loads (snow):	30 psf
Roof/Ceiling Dead Load:	12 psf
Total Roof Loading:	42 psf

Project Area

New Bsmnt Floor Area exempt from FAR calc	988	sf
EXG First Floor Area:	960	sf
New First Floor Area	28	sf
EXG Second Floor Area:	1132	sf
Total SF	2120	sf
Total FAR	1.06	sf
EXG Attic Floor Area:	826	sf
New Attic Floor Area:	0	sf
50.7%<65% of at-grade footprint exempt from FAR calc		
At-grade footprint	1628	sf
ISR Ratio	.39	

Project Team

<b>Architect</b> George Clemens George Clemens Architecture Project Lead: Jordan Meerdink 440-753-8001 george@clemensarchitecture.com jordan@clemensarchitecture.com	<b>Contractor</b> Name: TBD Company Phone number Email	<b>Structural Engineer</b> Peter Radka Rock Hill Engineering 716-782-2206 rockhill6948@gmail.com
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Index of Drawings

- A0.1 Title Sheet
- A0.2 Ex'g Site Plan, Ex'g Floor Plan
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- A2.1 Proposed Elevations
- A2.2 Proposed Elevations



1  
A.01  
Front Elevation  
1/4" = 1'-0"



2  
A.01  
Current Facade  
NTS



3  
A.01  
Archival Image  
NTS

Leah and William Boyan

Additions and Alterations to  
The Boyan Residence  
16 Wiley Ave.  
Chautauque, NY 14722

Job Number

2422

Drawn By

GC

Issued For

25.03.11 Client Meeting  
25.05.01 Client Meeting  
25.05.16 Prelim Submission

Drawing Title

Title Sheet

Drawing Number

A.01



all Legend

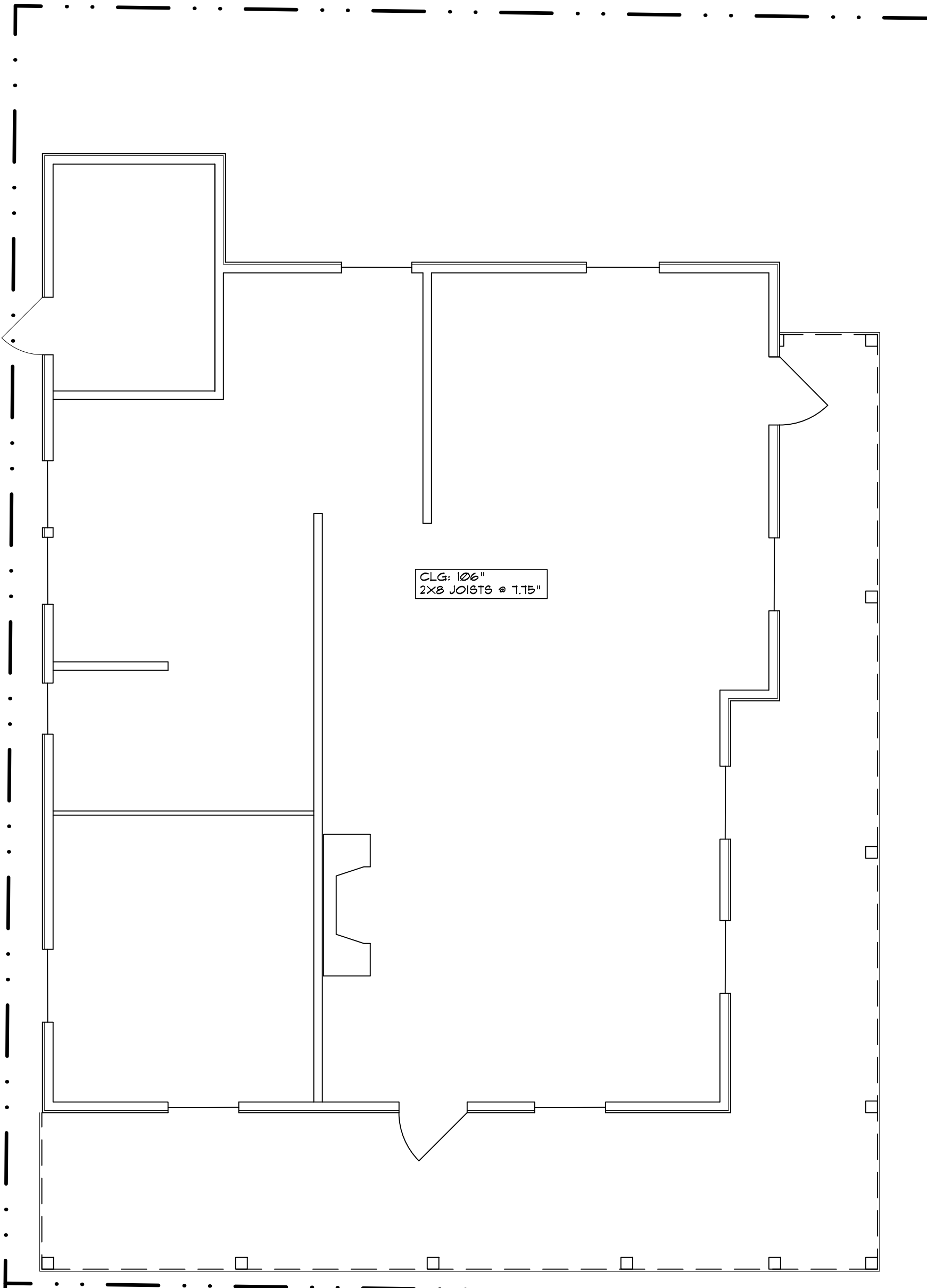
- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW 2x6 WOOD STUD WALL W/ INSULATION
- NEW 2x4 WOOD STUD WALL W/ INSULATION
- NEW STRUCTURAL INSULATED PANEL WALL
- NEW BRICK VENEER WALL ON 2x6 WOOD STUD WALL
- NEW STONE VENEER WALL ON 2x6 WOOD STUD WALL
- NEW CONC. BLOCK (CMU) WALL
- NEW CONCRETE WALL
- NEW INSULATED CONCRETE FORMWORK (I.C.F.) WALL

TE: ALL DIMENSIONS TO FACE OF WOOD STUD (W WALLS), FACE OF EXISTING FINISH (EXISTING LLs), OR FACE OF MASONRY UNIT, UNO.

↓ = DOWNSPOUT  
G = EXISTING  
/ V.I.F. = FIELD VERIFY / VERIFY IN FIELD  
F = GROSS SQUARE FEET (OUTSIDE OF EXT. WALLS)  
P.B.D. = GYPSUM BOARD (DRYWALL)  
↓ = ROSE BID  
T SF = NET SQUARE FEET (INSIDE OF EXT. WALLS)  
HT. = ROUGH PLATE HEIGHT  
↓ = ROOF DRAIN  
P = TYPICAL  
O = UNLESS NOTED OTHERWISE

te Plan Legend

LINE TYPE	LINE NAME
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1ST FLOOR EX'G

N40°36'08"E 40.00'

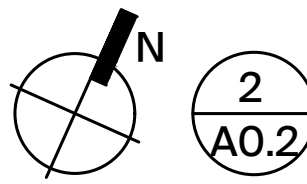
N40°36'08"E 40.00'

S49°24'01"E 50.00'

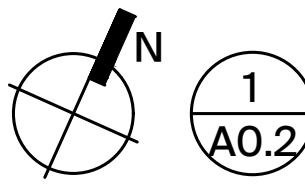
S40°34'20"W 39.92'

S40°34'20"W 39.90'm. 40'map

Northwesterly Street Li



Ex'g First Floor Plan  
1/4" = 1'-0"



Ex'g Site Plan  
1/4" = 1'-0"

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Drawing Title

Ex'g Site Plan, Ex'g Floor Plan

Drawing Number

A0.2

Additions and Alterations to  
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Drawing Title

Proposed Elevations

Drawing Number

**A0.4**



2  
A-0.4

**Ex'g Left Side (Southwest) Elevation**  
1/4" = 1'-0"

1  
A-0.4

**Ex'g Front (Southeast) Elevation**  
1/4" = 1'-0"

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Proposed Elevations

Drawing Number

**A0.5**



2  
A0.5

**Ex'g Rear (Northwest) Elevation**  
1/4" = 1'-0"



1  
A0.5

**Ex'g Right Side (Northeast) Elevation**  
1/4" = 1'-0"



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Drawing Title

Proposed Floor Plans

Drawing Number

**A1.1**

Wall Legend

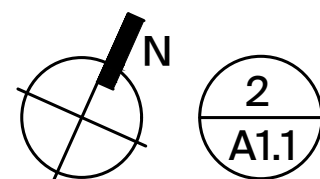
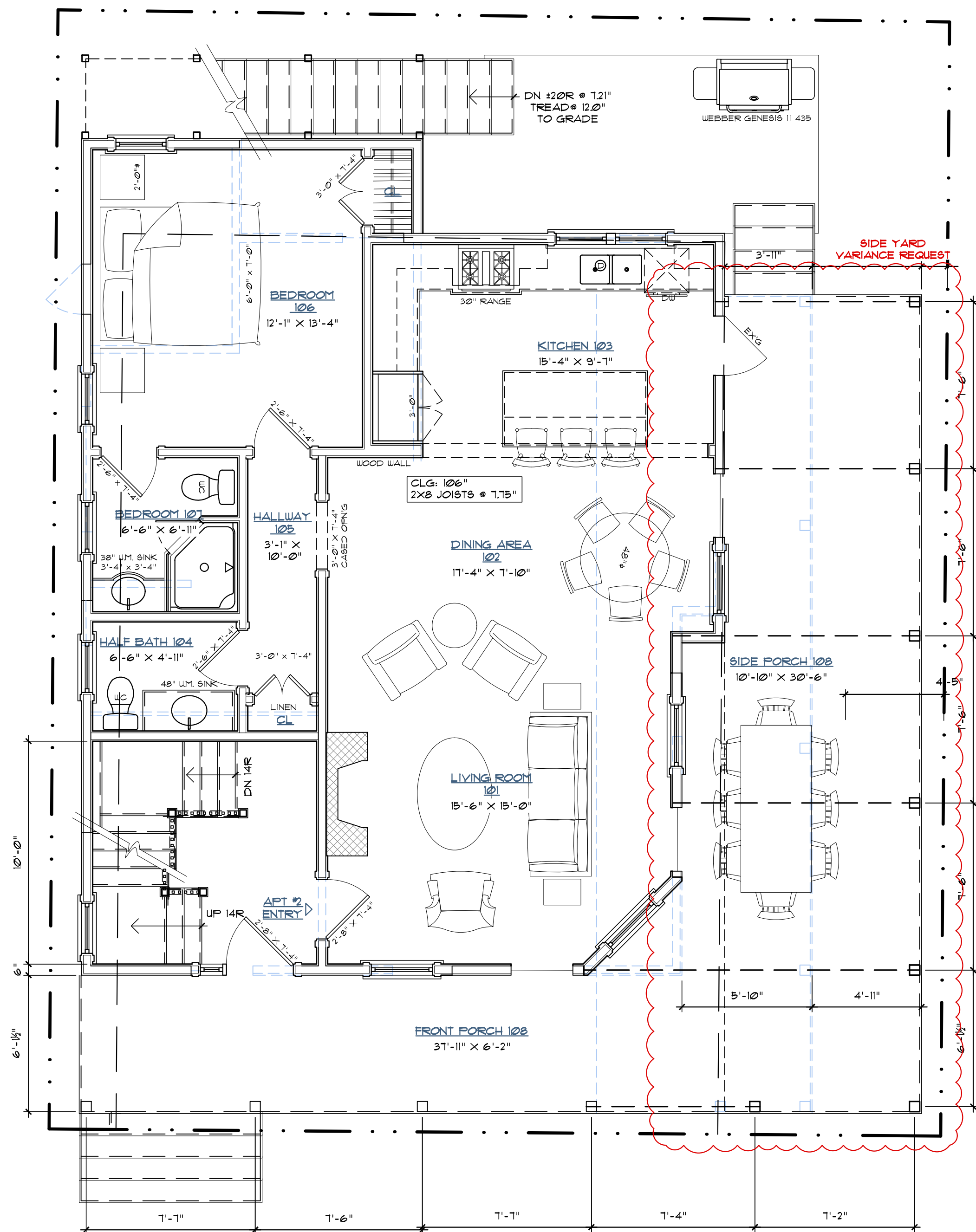
	EXISTING WALL TO REMAIN
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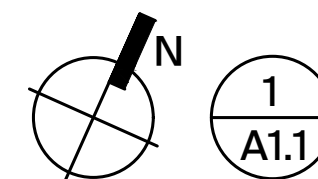
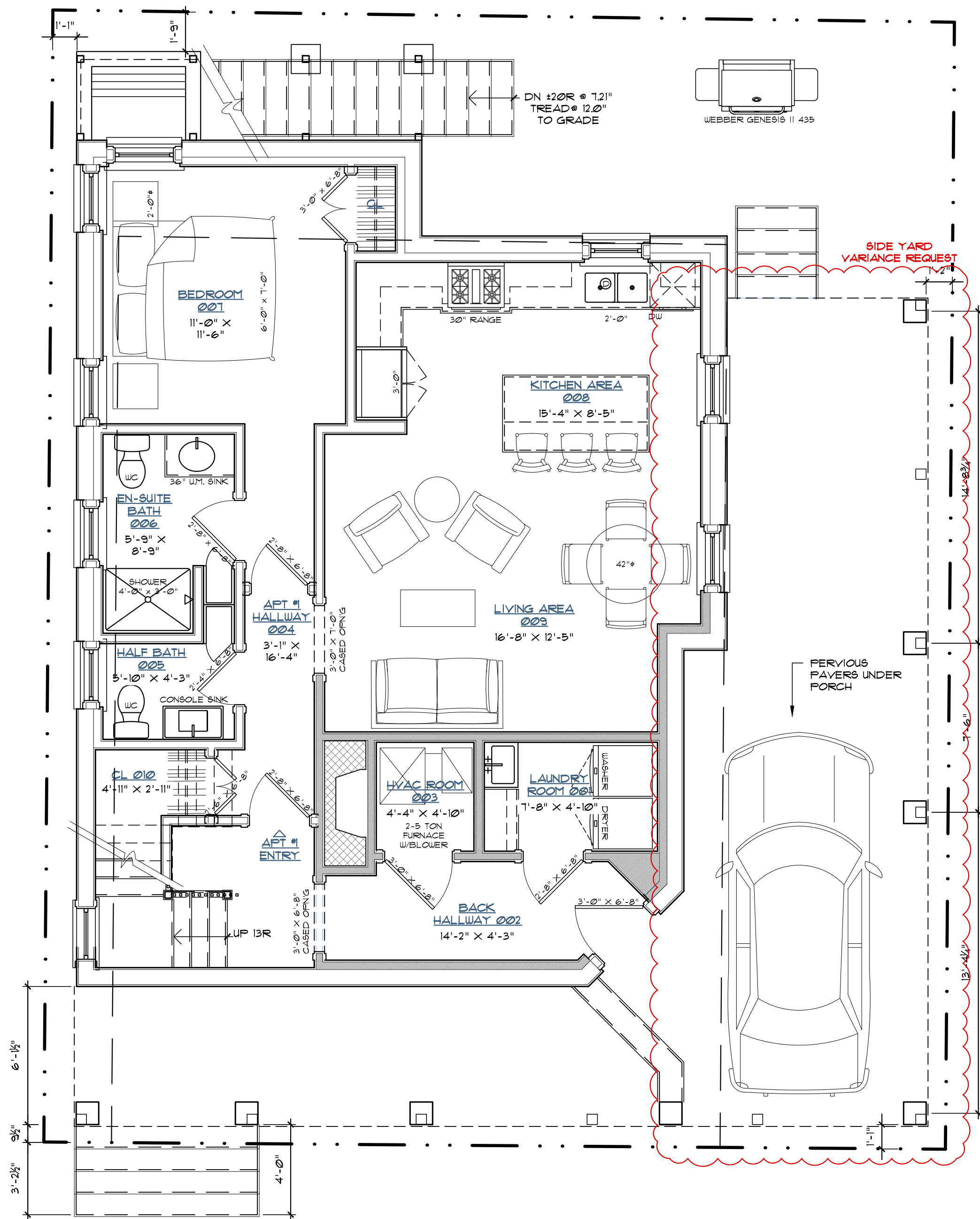
D.S. = DOWNSPOUT  
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GSF = GROSS SQUARE FEET (OUTSIDE OF EXT. WALLS)  
GYP. BD. = GYPSUM BOARD (DRYWALL)  
H.B. = HOSE BIB  
NET SF = NET SQUARE FEET (INSIDE OF EXT. WALLS)  
PL. HT. = ROUGH PLATE HEIGHT  
RD. = ROOF DRAIN  
TYP. = TYPICAL  
UNO. = UNLESS NOTED OTHERWISE

Site Plan Legend

LINETYPE	LINENAME
	O
	Anno-CI
	Site-Bldg
	Site-Exst
	Site-Fence
	Site-Hatch
	Site-Misc
	Site-Pave
	Site-Plant
	Site-Prop
	Site-Road
	Site-Setback
	Site-Topo
	Site-Walk



**First Floor Plan**  
1/4" = 1'-0"



**New Basement Floor Plan**  
1/4" = 1'-0"

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**Drawing Title**  
Proposed Floor Plans

**Drawing Number**

A1.2

Wall Legend

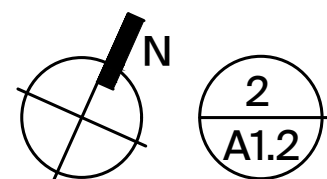
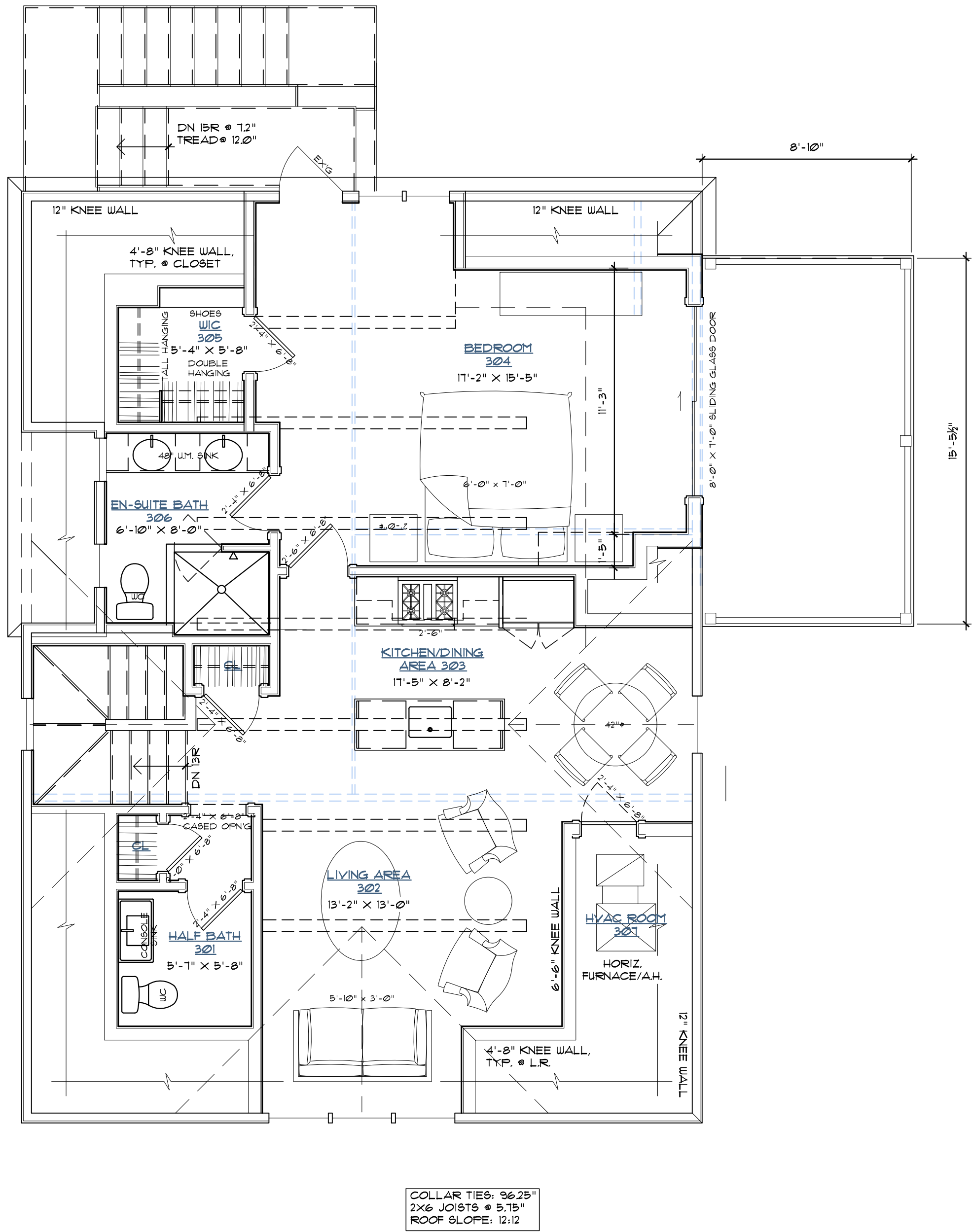
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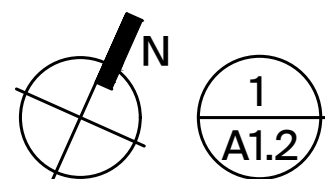
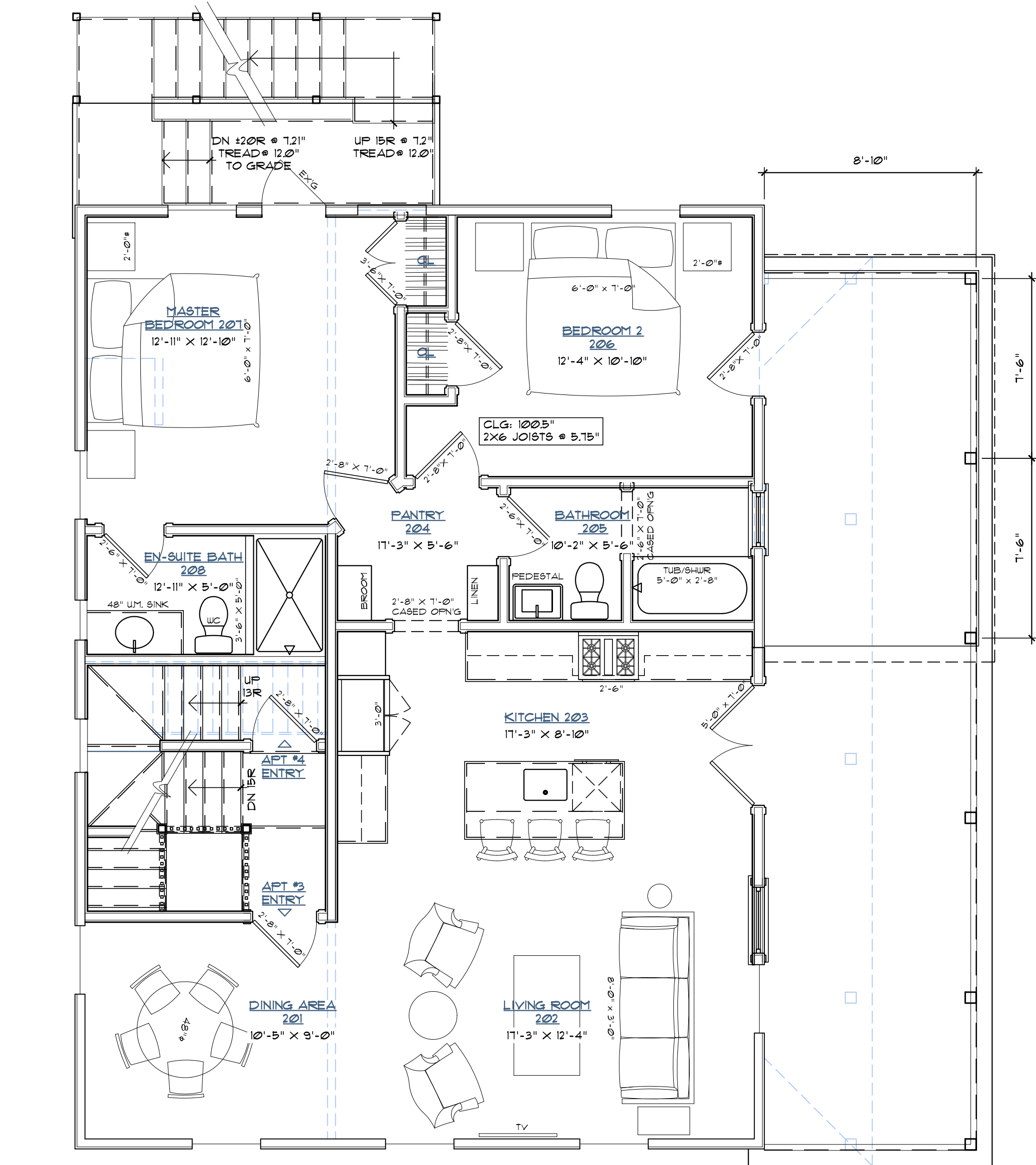
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Site Plan Legend

LINE TYPE	LINE NAME
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New Third Floor Plan  
1/4" = 1'-0"



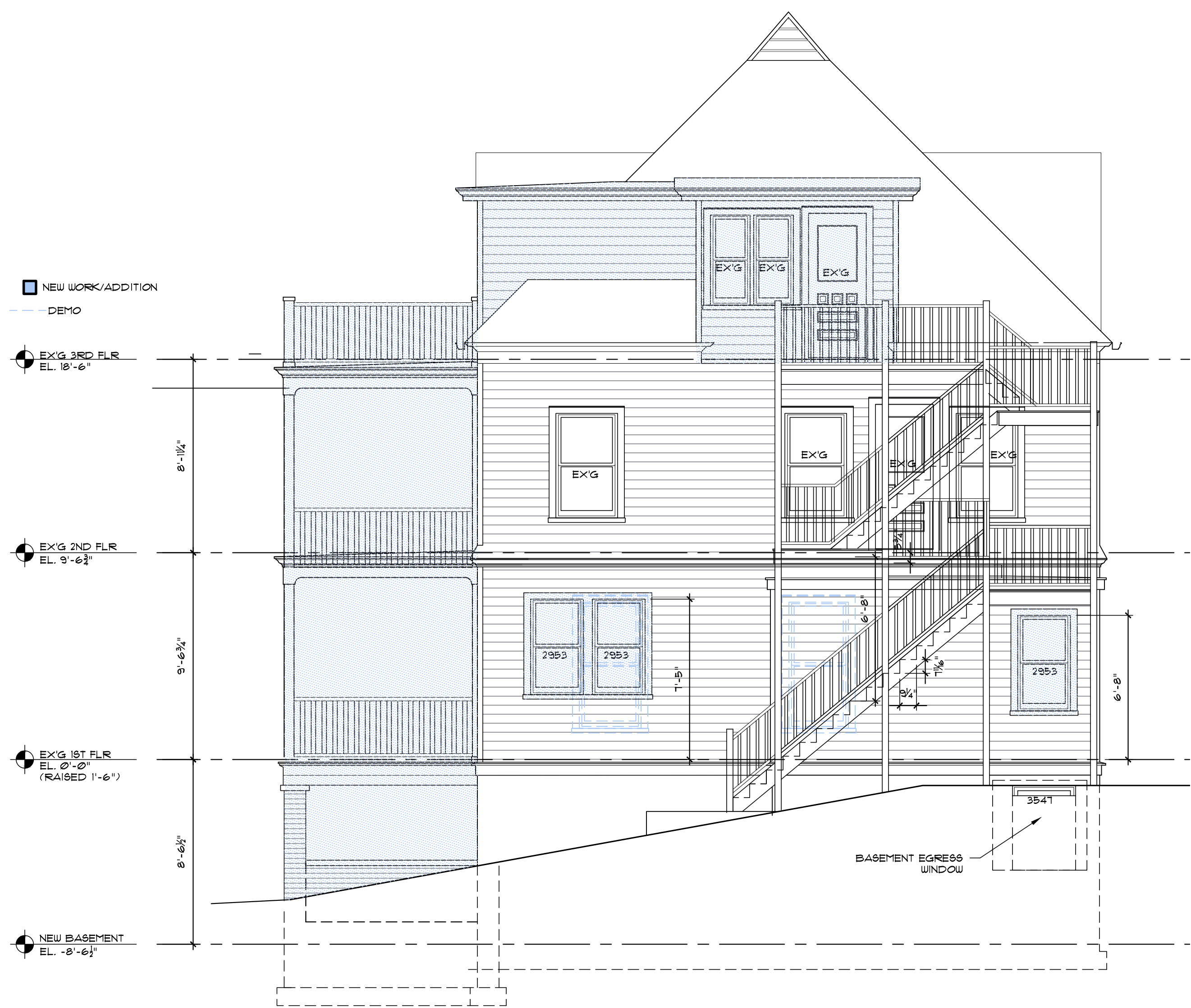
New Second Floor Plan  
1/4" = 1'-0"



## A2.1







2  
A2.2

Rear (Northwest) Elevation  
1/4" = 1'-0"



1  
A2.2

Right Side (Northeast) Elevation  
1/4" = 1'-0"

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Proposed Elevations

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A2.2