



OFFICE OF CAMPUS PLANNING & OPERATIONS

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

January 5th 2026

Dear Chautauquan,

The owners of 28 Ames, The Quaker House at Chautauqua, are requesting to come before the Architectural Review Board for the scope of work adding an addition for an additional bedroom and bathroom above a preexisting nonconforming part of the building, to match the existing building in the Neighborhood Traditional District. The scope of work proposes an addition that encroaches ~ 3'-6" into the rear yard setback, and an addition to the gable end that does not go beyond the existing building footprint but encroaches ~1'-6" into the front yard setback. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variances/Requests being considered:

1. Variance for an addition 3'-6" into the 10'-0" rear yard setback (Architectural and Land Use Regulations Section 4.4.6)
2. Variance for an addition 1'-6" into the 10'-0" front yard setback (Architectural and Land Use Regulations Section 4.4.6)

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project's scope of work, as well as the link to the ARB meeting Zoom call may be viewed online at the Architecture Review Board (ARB) News and Notes Page at the following link:

www.chq.org/ARB

PO Box 28 • Chautauqua, NY 14722
716.357.6245 • 716.357.9014 (fax)
ARB@chq.org • chq.org

The Architectural Review Board will meet on **February 12th 2026 at 12:00pm Noon over Zoom at a link provided at the ARB Website listed above.** Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at arb@chq.org until 12:00pm noon the day before on February 11th 2026 at 12:00pm Noon. Thank you for your time and consideration!

Respectfully,

A handwritten signature in blue ink, appearing to read 'B. Boughton', with a stylized flourish at the end.

Ryan B. Boughton, Assoc. AIA

Administrator of Architectural and Land Use Regulations

rboughton@chq.org | o: 716.357.6245

QUAKER HOUSE BUILDING RENOVATION

28 AMES AVENUE, CHAUTAUQUA, NY 14722

SYMBOL LEGEND

	NEW POURED CONC. FDN WALL CONSTRUCTION
	NEW CMU FDN WALL CONSTRUCTION
	NEW WOOD STUD WALL CONSTRUCTION
	EXISTING WOOD STUD WALL CONSTRUCTION
	WALLS TO BE REMOVED
	NEW SINGLE DOOR
	NEW DOUBLE DOOR
	NEW SLIDING DOOR
	NEW BI-FOLD DOOR
	NEW SINGLE POCKET DOOR
	DOOR TO BE REMOVED
	WINDOW TO BE REMOVED
	BUILDING SECTION
	WALL SECTION
	EXTERIOR ELEVATIONS
	ELEVATION INDICATOR
	EGRESS WINDOW
	SMOKE DETECTOR/ALARM HARDWIRED INTERCONNECTED W/BATTERY BACKUP
	SMOKE/CO DETECTOR/ALARM HARDWIRED INTERCONNECTED W/BATTERY BACKUP
	BATHROOM EXHAUST FAN/LIGHT COMBO, DUCTED TO THE EXTERIOR
	HEAT DETECTOR INTER CONNECTED WITH BATTERY BACK UP

CONSTRUCTION NOTES

- Use 1/2" or 7/16" M-1 sheathing for walls, 5/8" sheathing for roof or equivalent.
- Install electric, heating, and plumbing according to NYS Building Code.
- These plans do not show all the standard details used during construction. New York State Building code standards and practices should be followed.
- Footing design is based on normal soil conditions with an allowable load of 1500 psf. If substandard soil (soft clay or silt) is encountered the designer should be contacted.
- Design is based on a 50 psf ground snow load with applicable modifications. Roof design dead load is 10 psf. Floor design loads are 10 psf dead and 30 psf live for the second and third floor and 10 psf dead and 40 psf live for the first floor.
- Minimum 28 day compressive strength is 3000 psi for concrete footers and walls and 4000 psi for concrete slabs.
- Maximum U value for new doors and windows to be .30.
- Minimum floor to sill window installation height without safety glazing is 18".
- Smoke alarms are required in each bedroom, outside the bedroom area, and on each floor. A CO detector is required on each floor with a sleeping unit and all floors with CO emitting appliances. Contact CEO for interconnection requirements.
- Minimum vent pipe diameter is 3"
- LVLs for headers are to be Trus Joist Microlam, 1.9E, 2600 psi or better.
- All lumber to be SPF #2 or better.
- Bridging should be installed at mid span of floor joists.
- For pressure treated lumber applications use hot dipped galvanized G185 connectors and hardware or stainless steel.
- Whole house fire suppression system plans , layout and details provided by vendor and subcontractor.

NEIGHBORHOOD TRADITIONAL

FAR CALCULATIONS:		ISR CALCULATIONS:	
1ST FLOOR	817 SF	FOOT PRINT	817
2ND FLOOR	725	WINDOW WELLS	N/A
THIRD	N/A	PORCH/ENTRY	138
BASEMENT	N/A	DRIVE WAY	200
TOTAL	1600 SF	WALKS	25
LOT	2000 SF	TOTAL:	1180
1600/2000 =	.80	LOT	2000
		1280/2000 =	.59
		41% OF THE LOT IS GREEN	

These plans may be used by the client's design professional as the basis for the remainder of the plan set. Any other plans required for permitting must be submitted by the client or their registered design professional. Required plans may include plumbing, mechanical, electrical, and stormwater.

4.3.4.2. Any finished attic space that is compliant with all height, Setback, tower, turret, and dormer Regulations and that is less than 65% of the at-grade footprint of the Building shall not be included in the FAR calculation.

ABBREVIATIONS

&	AND	EQ	EQUAL	JT.	JOINT
@	AT	EXP	EXPANSION	LB	POUND
AFF	ABOVE FINISHED FLOOR	EXIST.	EXISTING	LVL	LAMINATED VENEER LUMBER
ALUM	ALUMINUM	EXT.	EXTERIOR	MATL.	MATERIAL
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	F.E.	FIRE EXTINGUISHER	MAX.	MAXIMUM
		FDN	FOUNDATION	MFR.	MANUFACTURER
APPROX.	APPROXIMATE, APPROXIMATELY	FF	FACTORY FINISH	MIN.	MINIMUM
B.O.	BOTTOM OF	FIN.	FINISHED	M.O.	MASONRY OPENING
BD.	BOARD	F.O.	FACE OF	MOD	MODIFIED
BRG.	BEARING	FTG.	FOOTING	MTD	MOUNTED
CLG.	CEILING	GA.	GAUGE	MTL	METAL
CLR.	CLEAR	G.C.	GENERAL CONTRACTOR	NECY	NECESSARY
CMU	CONCRETE MASONRY UNIT	G.W.B.	GYP SUM WALL BOARD	N.I.C.	NOT IN CONTRACT
COL.	COLUMN	GYP.	GYP SUM	NO.	NUMBER
COLS.	COLUMNS	H	HIGH	N/A	NOT APPLICABLE
CONC.	CONCRETE	HB.	HOSE BIBB	O.C.	ON CENTER
CONT.	CONTINUOUS	HDW	HARDWARE	O.D.	OUTSIDE DIAMETER
COORD.	COORDINATE	HM	HOLLOW METAL	OPP.	OPPOSITE
D.S.	DOWNSPOUT	HDR	HEADER	P. LAM.	PLASTIC LAMINATE
DIA.	DIAMETER	HT.	HEIGHT	PART.	PARTITION, PARTIAL
DISP.	DISPLAY OR DISPENSER	H.W.	HOT WATER	PLYWD.	PLYWOOD
DTL	DETAIL	I.D.	INSIDE DIAMETER	P.O.S.	POINT OF SALE
	EGRESS WINDOW	i.e.	THAT IS		
E.W.	EACH WAY	INT	INTERIOR		
ELEC.	ELECTRIC, ELECTRICAL	INSUL.	INSULATION		
EPS	EXPANDED POLYSTYRENE	JAN.	JANITOR		
	FOAM INSULATION				

SHINGLE ROOFING	C.M.U.	LAP SIDING	CONCRETE	EARTH
GRAVEL	BATT INSUL.	RIGID INSUL.	SPRAY INSULATION	STONE VENEER

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S-1	SITE PLAN/DETAILS

DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LAKE CHARLES, NY 14750
(405) 238-7422

ENGINEER:

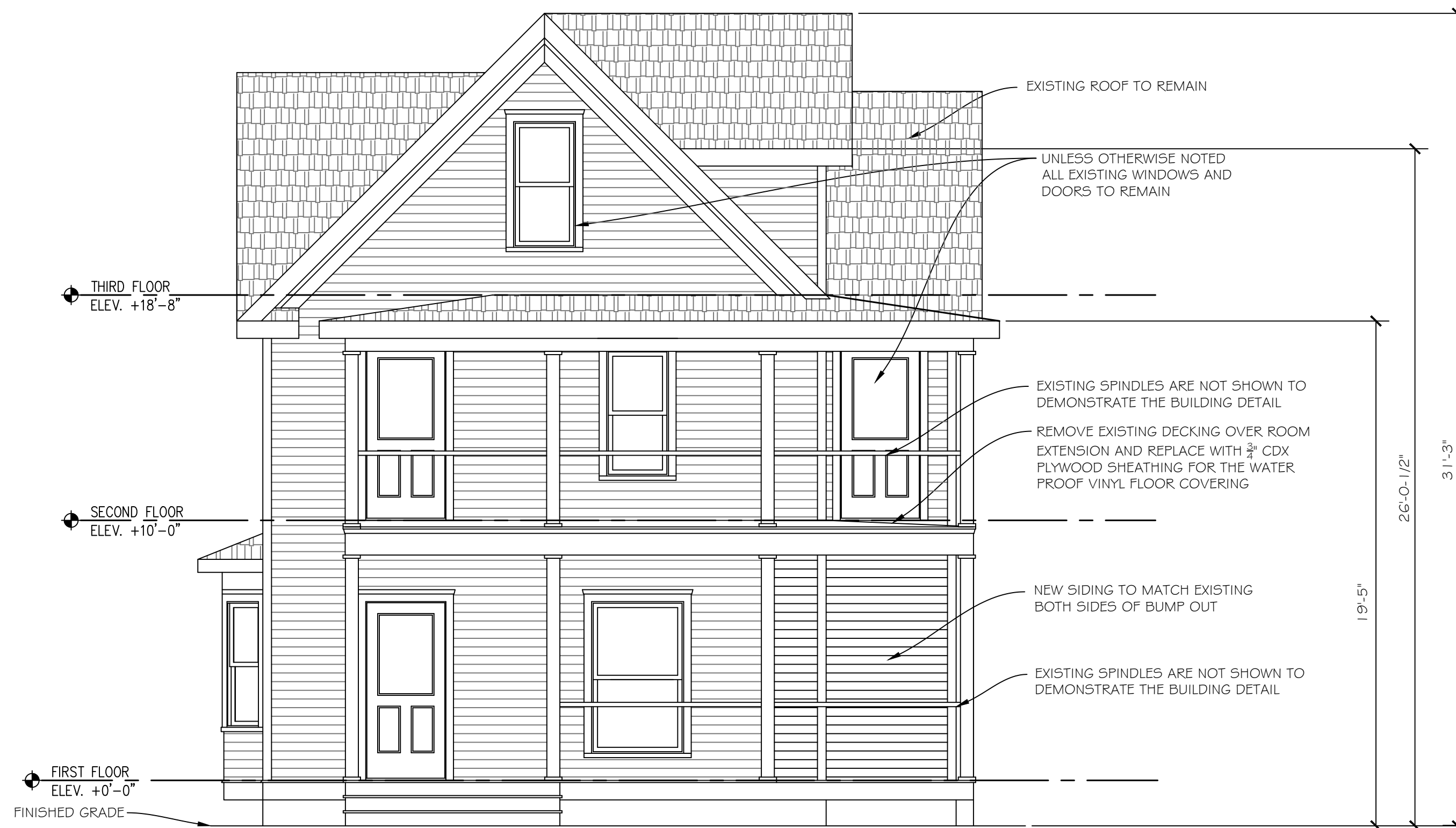
PETER RADKA
ROCK HILL ENGINEERING, LLC
6349 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

GENERAL NOTES
QUAKER HOUSE
28 AMES AVENUE
CHAUTAUQUA, NY 14722

DRAWN:
JOE FLIKKEMA

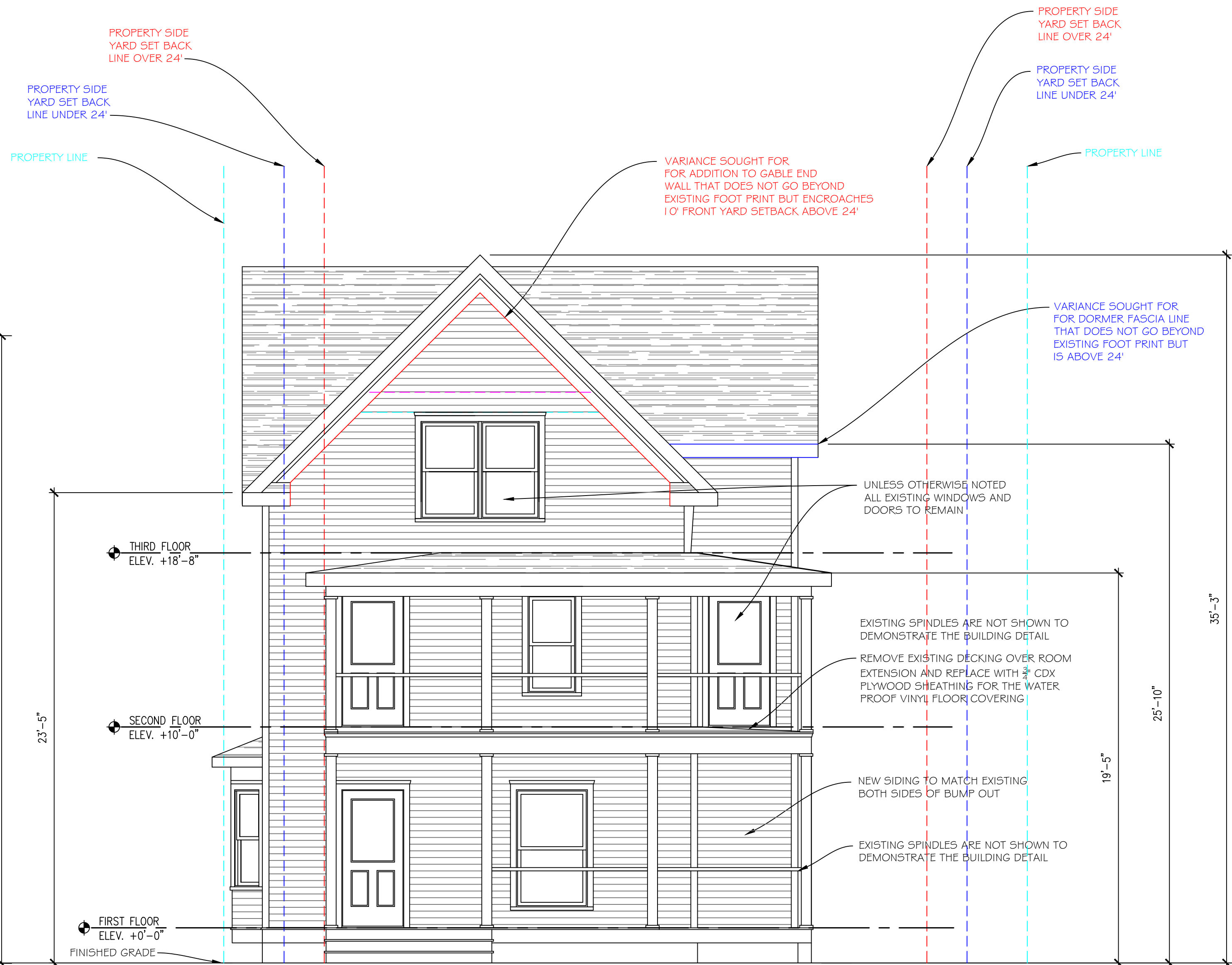
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12/11/2025

SHEET # : G1
1 OF 9



SOUTH ELEVATION

1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

1/4" = 1'-0"

DRAWN:
JOE FLIKKEMA

DATE:
12/11/2025

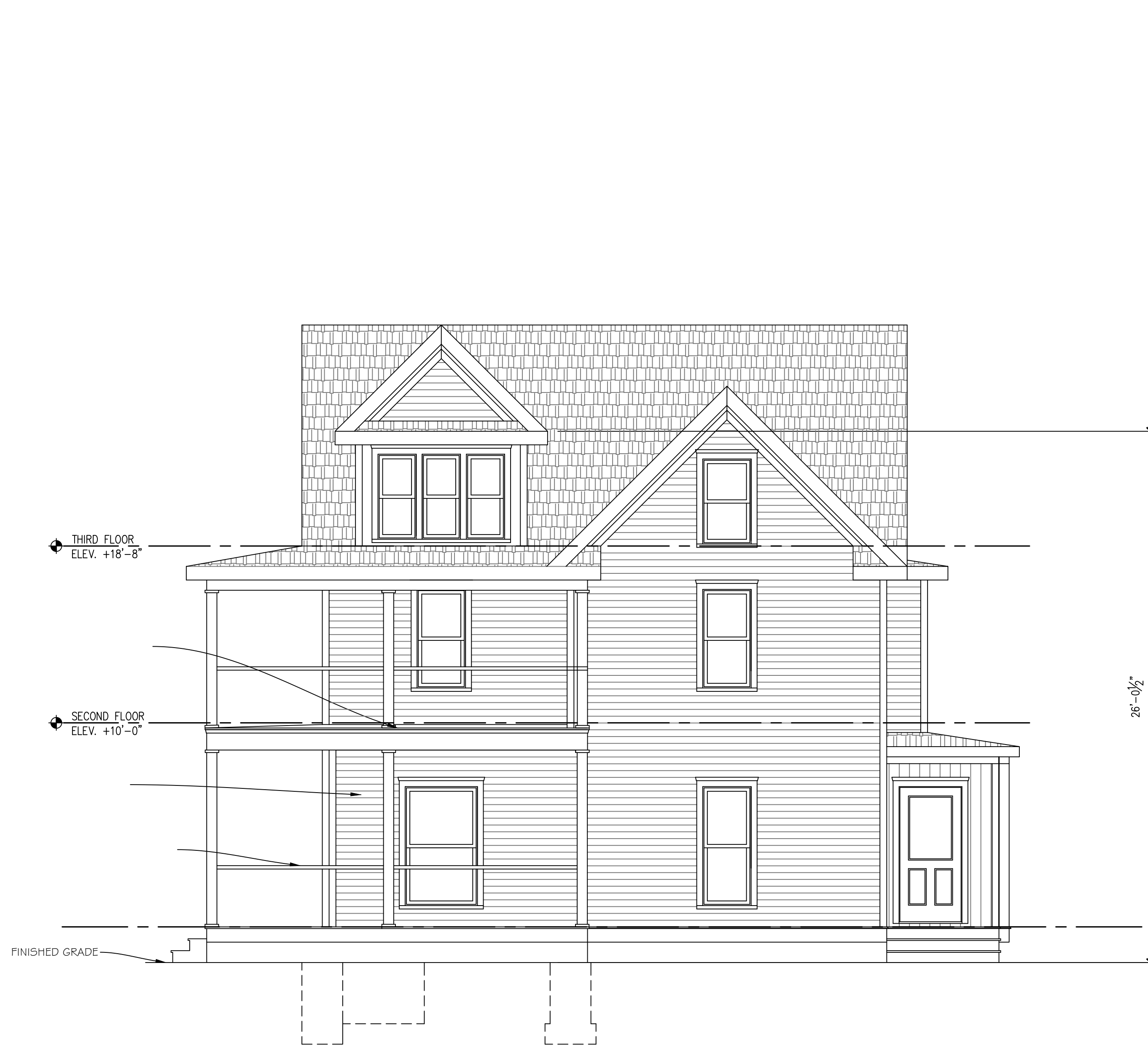
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A1

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SOUTH ELEVATIONS
QUAKER HOUSE
6949 KINGS CORNER ROAD
PANAMA, NY 14722

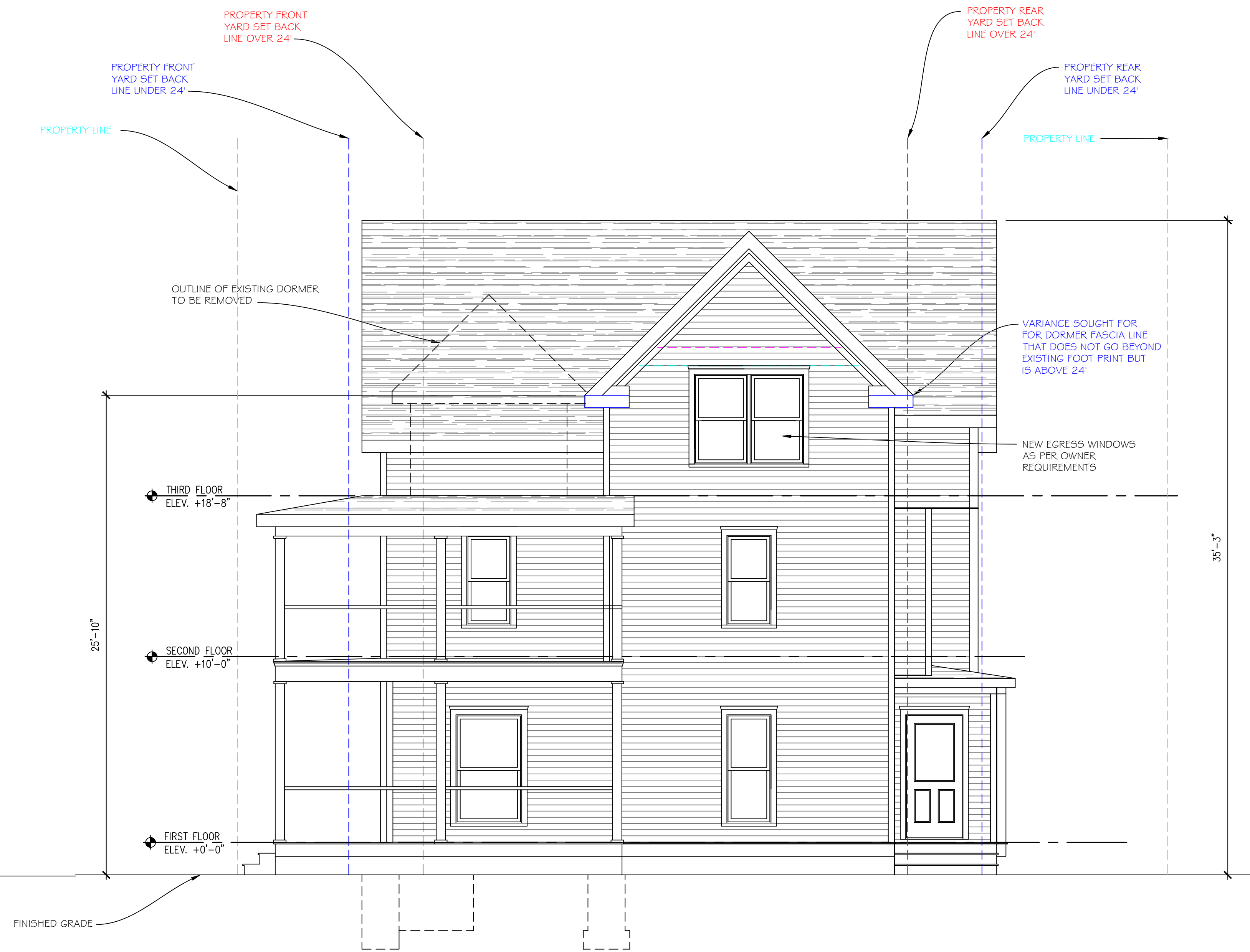
ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14727
(716) 782-2206

DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BACK STREET
LAKEVILLE, NY 14750
(425) 238-7422



EXISTING EAST ELEVATION

1/4" = 1'-0"



PROPOSED EAST ELEVATION

1/4" = 1'-0"

DRAWN:
JOE FLIKKEMA

DATE:
12/11/2025

SHEET # A2

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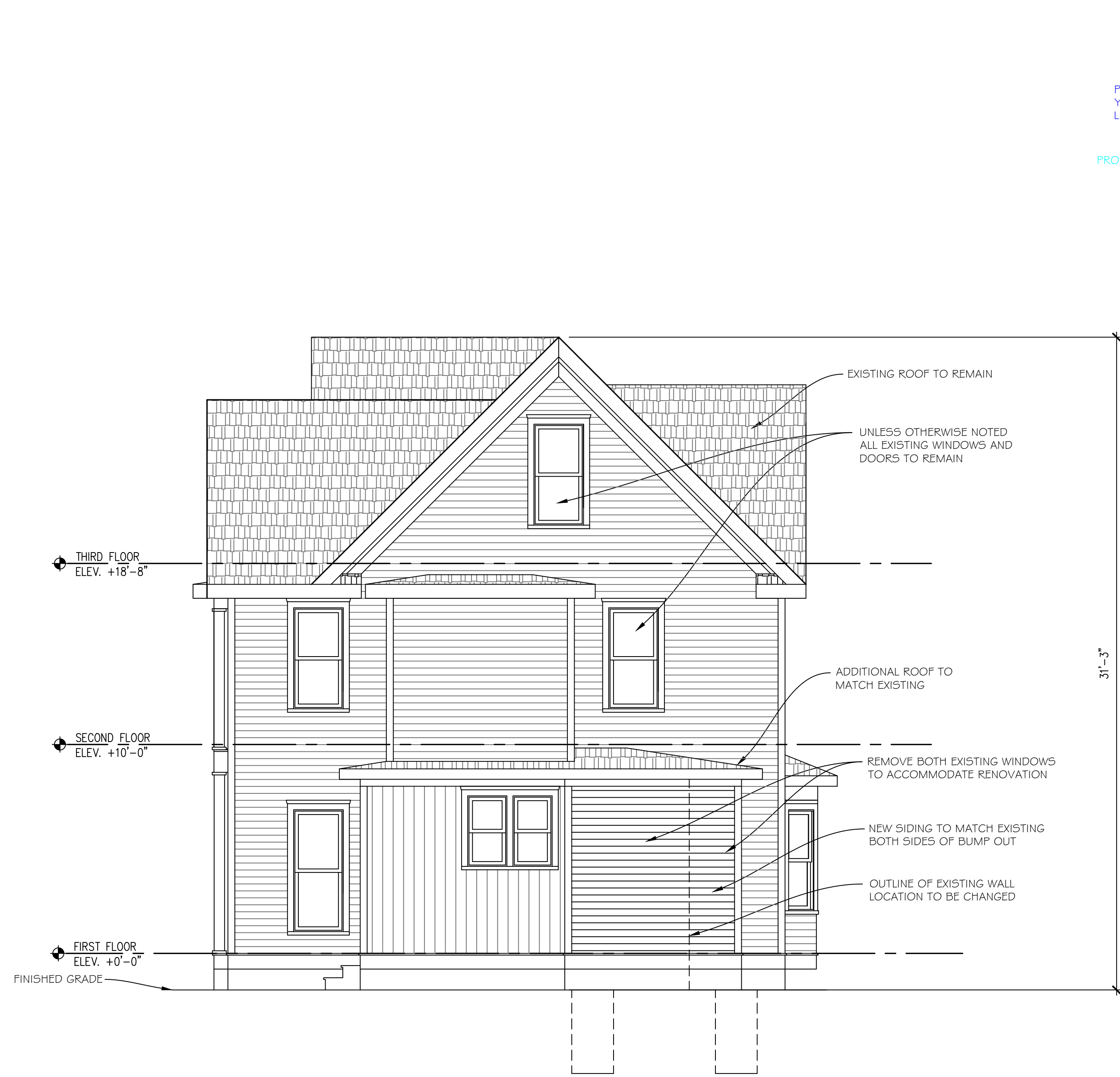
EAST ELEVATIONS
QUAKER HOUSE
300 MAIN STREET
CHAUTAUQUA, NY 14722

ENGINEER:

PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

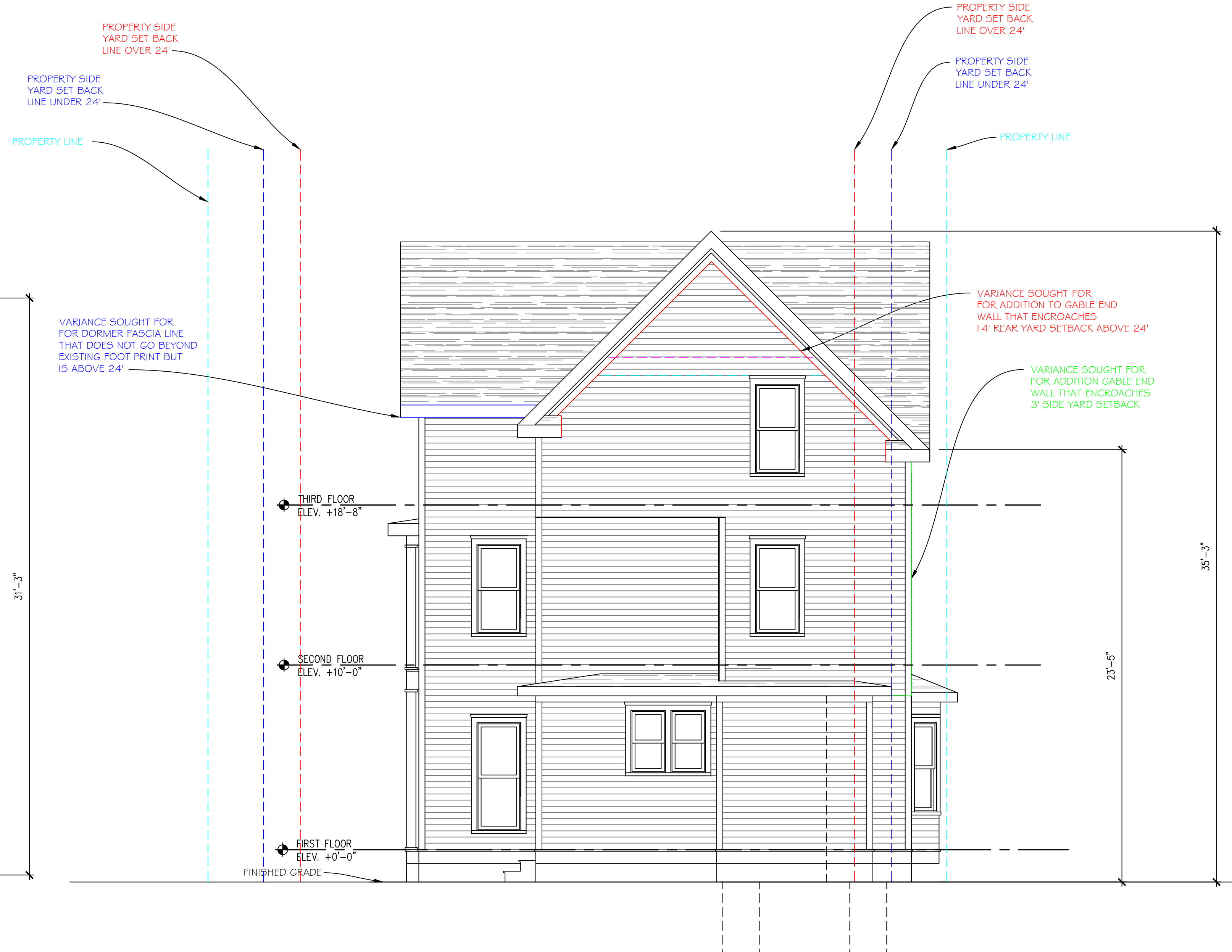
DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BACK STREET
LAKE MINERAL, NY 14750
(425) 238-7422



EXISTING NORTH ELEVATION

1/4" = 1'-0"



PROPOSED NORTH ELEVATION

1/4" = 1'-0"

DRAWN:
JOE FLIKKEMA

DATE:
12/11/2025

SHEET # : A3

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NORTH ELEVATIONS
QUAKER HOUSE
200 W. ALFRED
CHAUTAUQUA, NY 14722

ENGINEER:

PETER RADKA
ROCK HILL ENGINEERING, LLC
6349 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

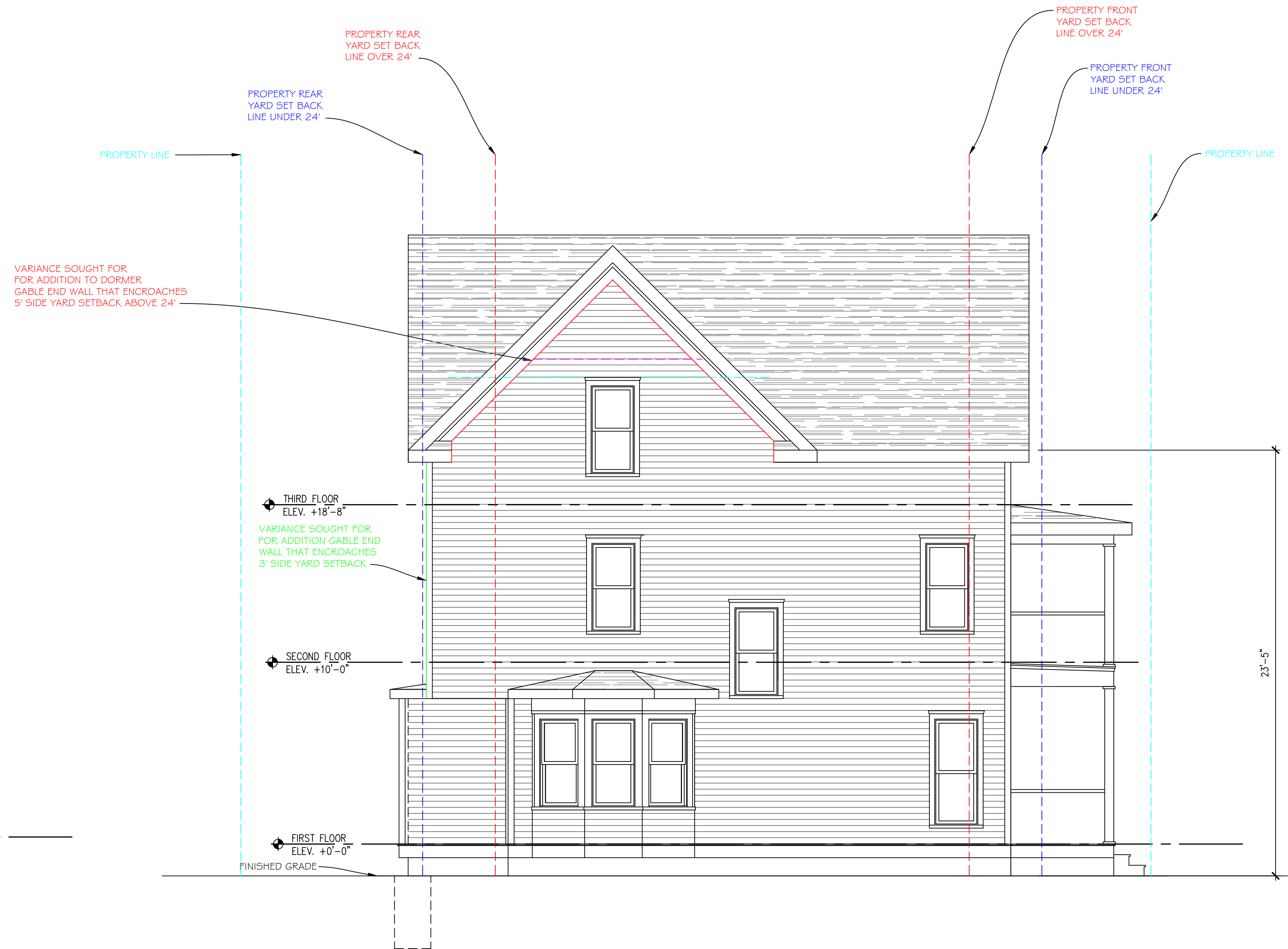
DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BACK STREET
LAKEVILLE, NY 14750
(425) 238-7422



EXISTING WEST ELEVATION

1/4" = 1'-0"



PROPOSED WEST ELEVATION

1/4" = 1'-0"

DRAWN:
JOE FLIKKEMA

DATE:
12/11/2025

SHEET #:
A-4

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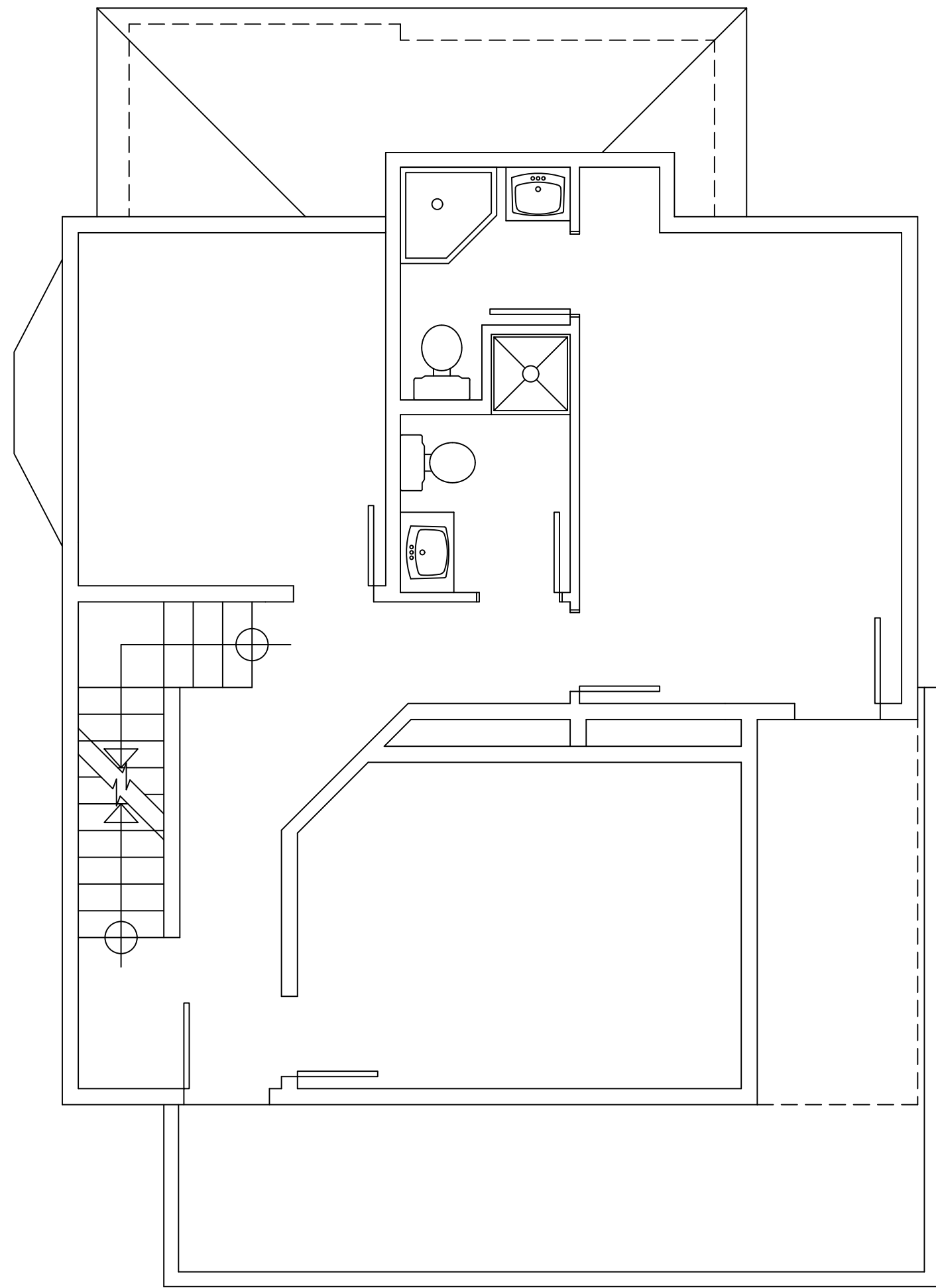
WEST ELEVATIONS
QUAKER HOUSE
100 W. 1ST ST.
CHAUTAUQUA, NY 14722

ENGINEER:

PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

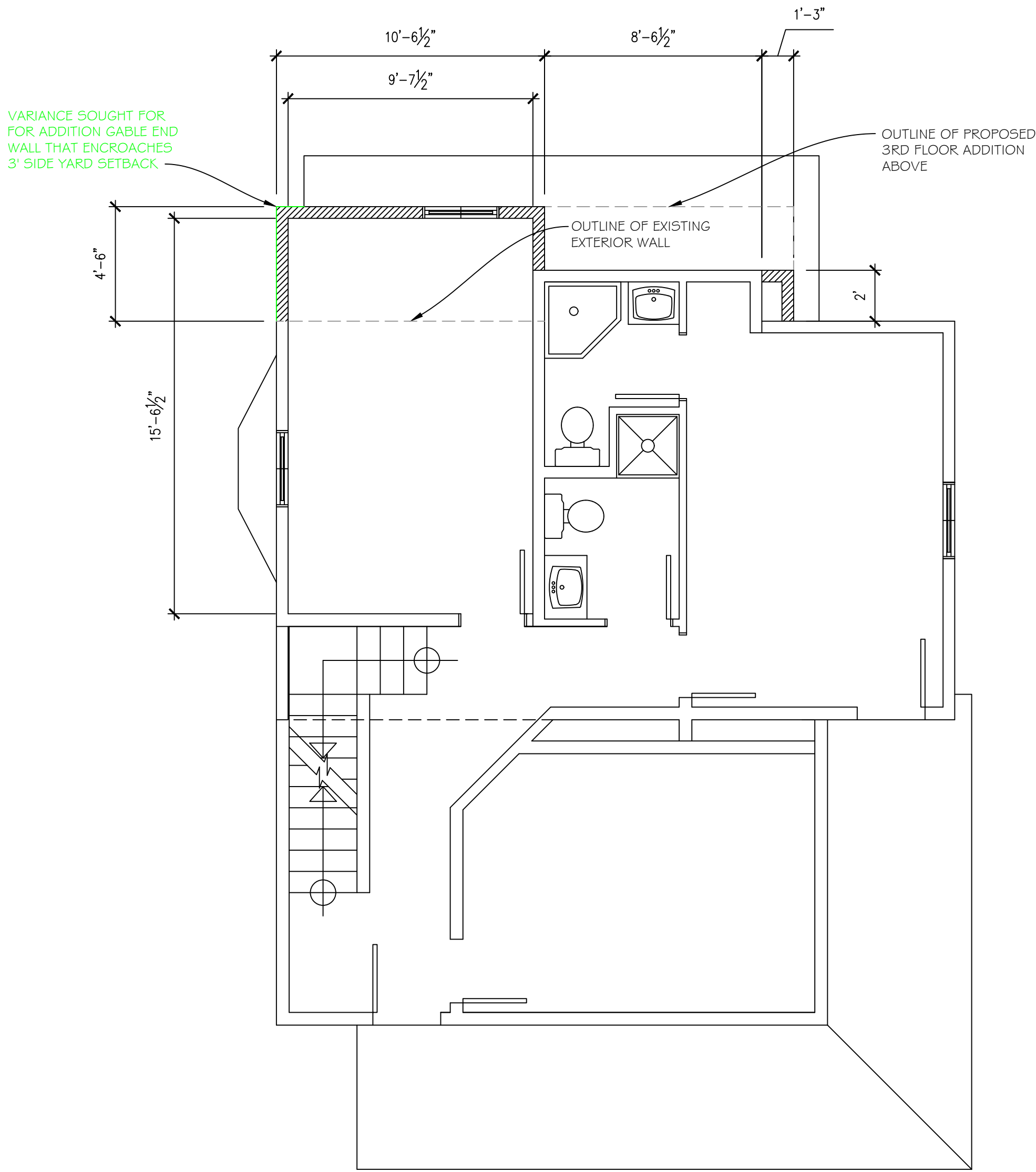
DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BACK STREET
LAKE MINERAL, NY 14750
(425) 238-7422



EXISTING SECOND FLOOR PLAN

1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

DRAWN:
JOE FLIKKEMA

DATE:
12/11/2025

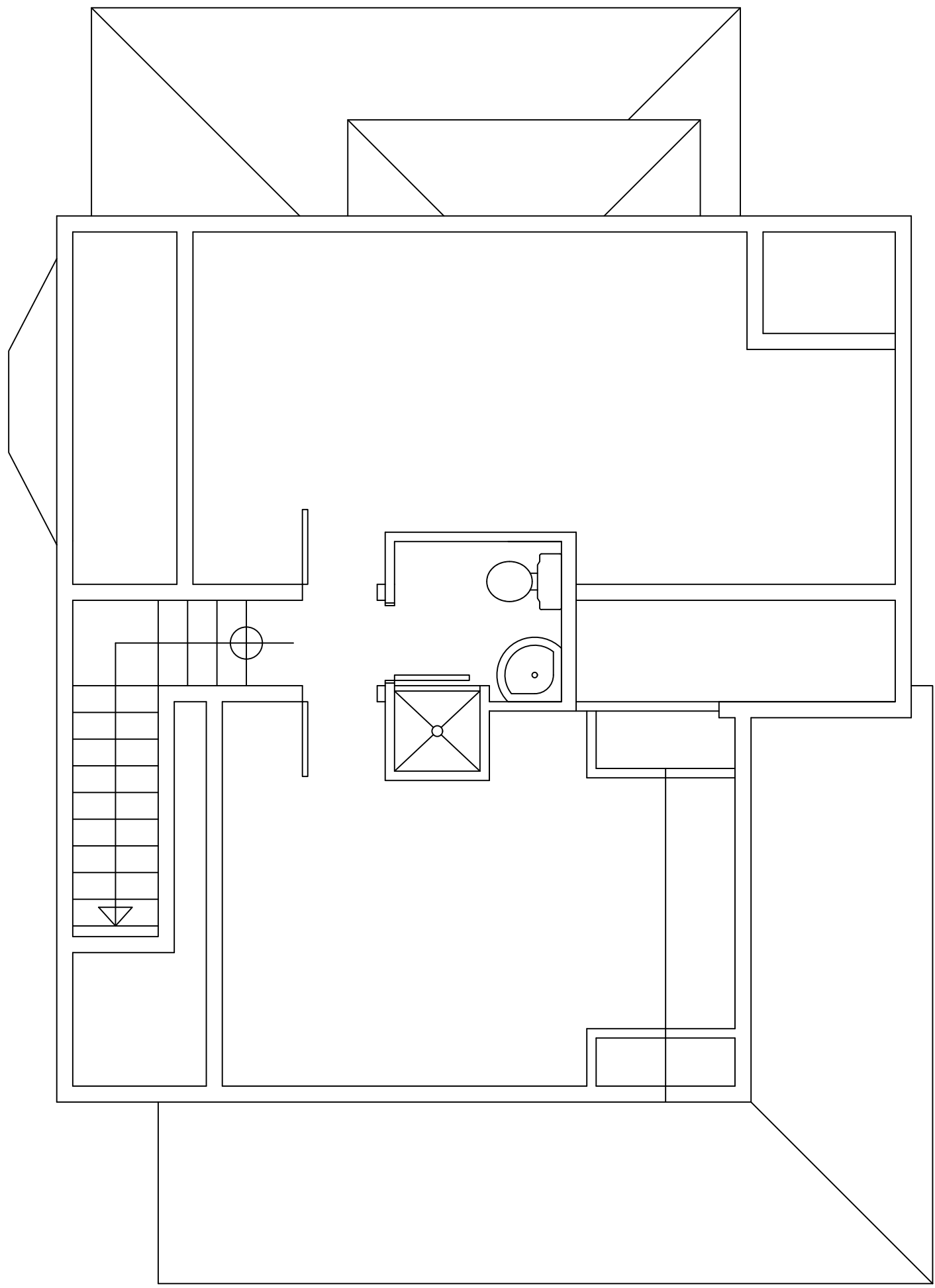
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SECOND FLOOR PLAN
QUAKER HOUSE
300 W. MAIN STREET
CHAUTAUQUA, NY 14722

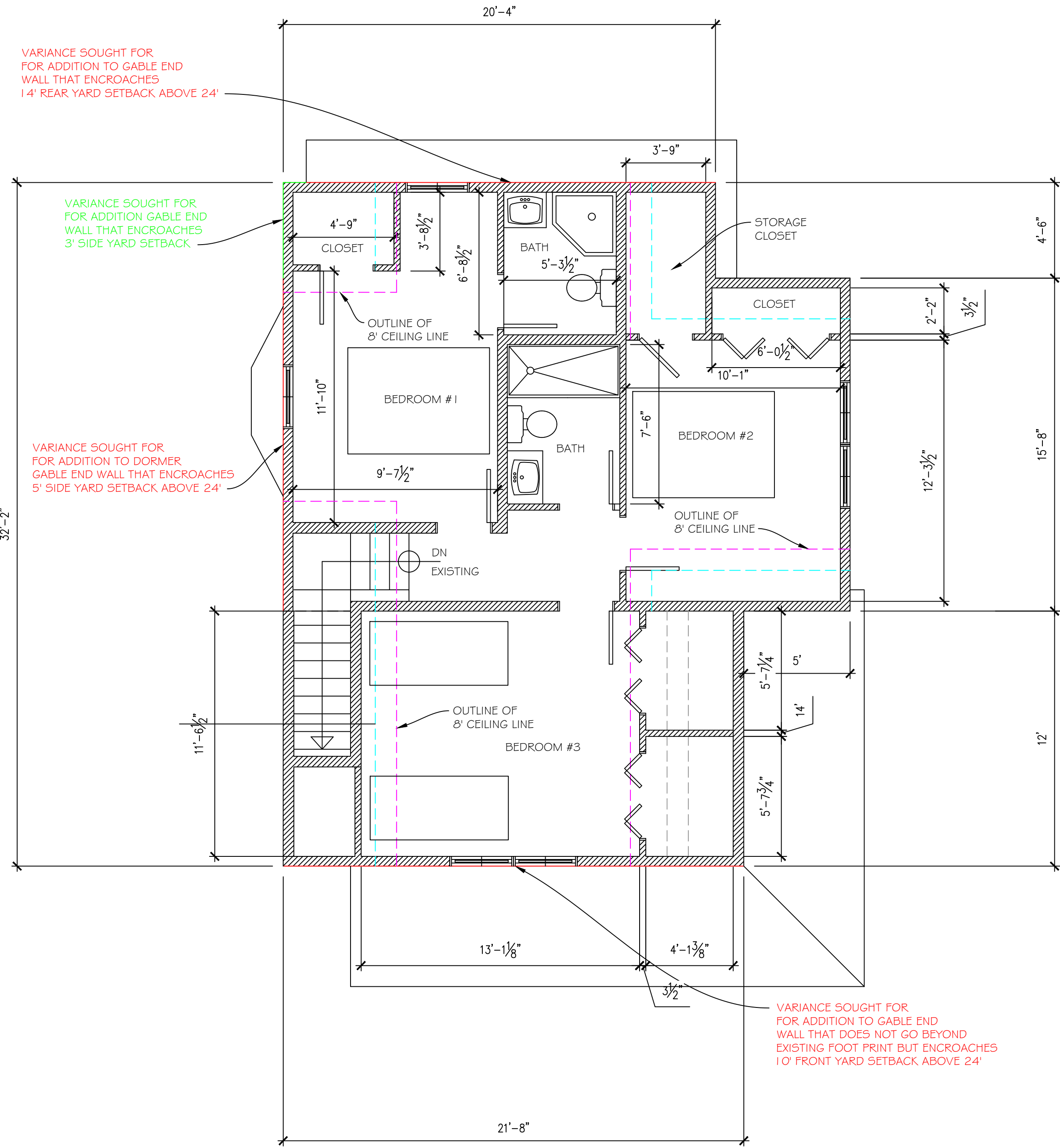
ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BACK STREET
LAKEVILLE, NY 14750
(425) 238-7422



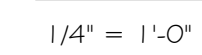
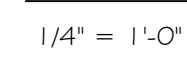
EXISTING THIRD FLOOR PLAN

1/4" = 1'-0"

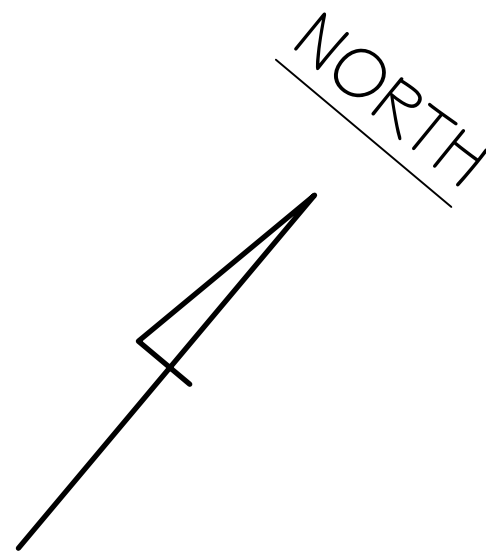


PROPOSED THIRD FLOOR PLAN

1/4" = 1'-0"

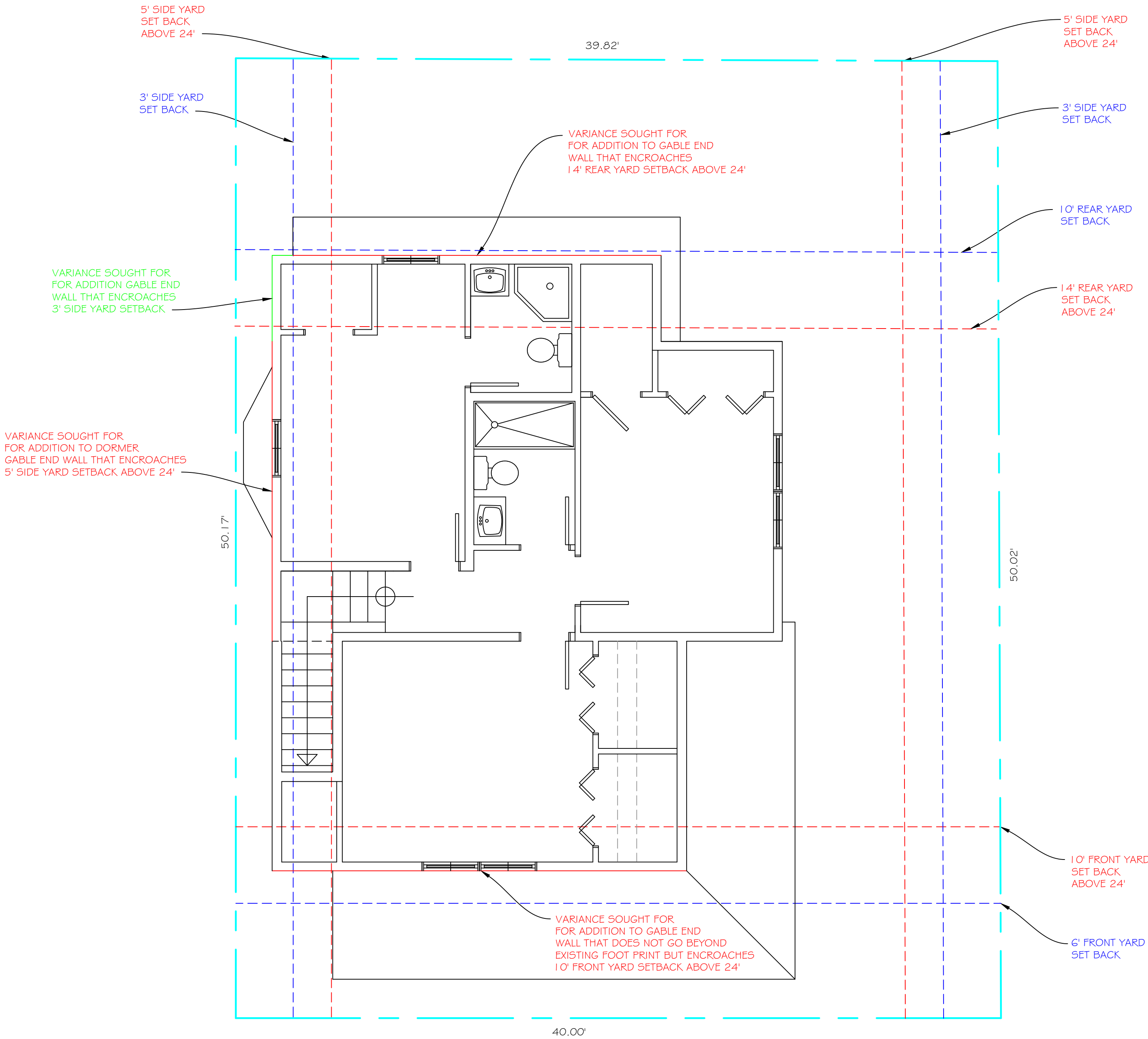


JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LAKESWOOD, NY 14750
(425) 238-7422



LEGEND:

- PROPERTY LINE
- PROPERTY SET BACK LINE BELOW 24'
- PROPERTY SET BACK LINE ABOVE 24'



AMES AVENUE

SITE FLOOR PLAN

1/4" = 1'-0"

DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LANCASTER, NY 14086
(425) 238-7422

ENGINEER:

PETER RADKA
ROCK HILL ENGINEERING, LLC
6349 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

SITE PLAN-DETAILS
QUAKER HOUSE
200 W. AVENUE
CHAUTAUQUA, NY 14722

DRAWN:
JOE FLIKKEMA

DATE:
12/11/2025

SHEET # 51
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