



OFFICE OF CAMPUS PLANNING & OPERATIONS

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

January 5th 2026

Dear Chautauquan,

The owners of 28 Ames, The Quaker House at Chautauqua, are requesting to come before the Architectural Review Board for the scope of work adding an addition for an additional bedroom and bathroom above a preexisting nonconforming part of the building, to match the existing building in the Neighborhood Traditional District. The scope of work proposes an addition that encroaches ~ 3'-6" into the rear yard setback, and an addition to the gable end that does not go beyond the existing building footprint but encroaches ~1'-6" into the front yard setback. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variances/Requests being considered:

1. Variance for an addition 3'-6" into the 10'-0" rear yard setback (Architectural and Land Use Regulations Section 4.4.6)
2. Variance for an addition 1'-6" into the 10'-0" front yard setback (Architectural and Land Use Regulations Section 4.4.6)

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project's scope of work, as well as the link to the ARB meeting Zoom call may be viewed online at the Architecture Review Board (ARB) News and Notes Page at the following link:

www.chq.org/ARB

PO Box 28 • Chautauqua, NY 14722
716.357.6245 • 716.357.9014 (fax)
ARB@chq.org • chq.org

The Architectural Review Board will meet on **February 12th 2026 at 12:00pm Noon over Zoom at a link provided at the ARB Website listed above.** Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at arb@chq.org until 12:00pm noon the day before on February 11th 2026 at 12:00pm Noon. Thank you for your time and consideration!

Respectfully,

A handwritten signature in blue ink, appearing to read "Boughton".

Ryan B. Boughton, Assoc. AIA

Administrator of Architectural and Land Use Regulations

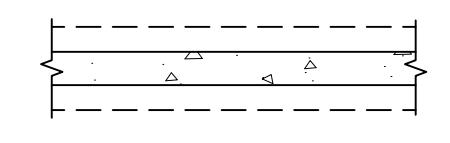
rboughton@chq.org | o: 716.357.6245

QUAKER HOUSE

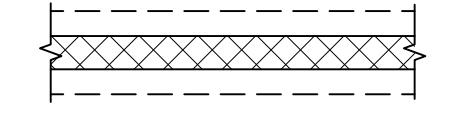
BUILDING RENOVATION

28 AMES AVENUE, CHAUTAUQUA, NY 14722

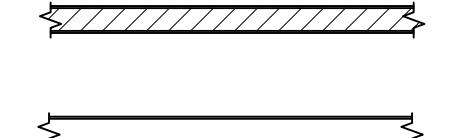
SYMBOL LEGEND



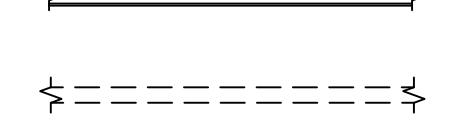
NEW Poured CONC. FDN WALL CONSTRUCTION



NEW CMU FDN WALL CONSTRUCTION



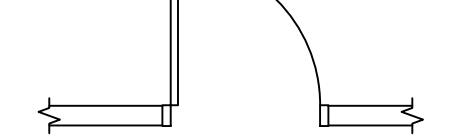
NEW WOOD STUD WALL CONSTRUCTION



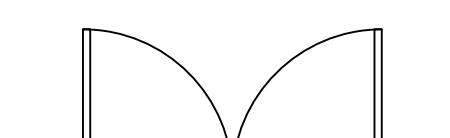
EXISTING WOOD STUD WALL CONSTRUCTION



WALLS TO BE REMOVED



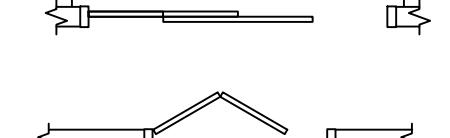
NEW SINGLE DOOR



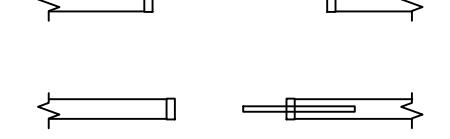
NEW DOUBLE DOOR



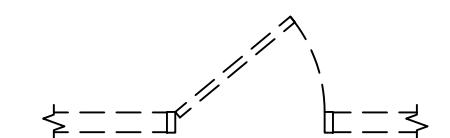
NEW SLIDING DOOR



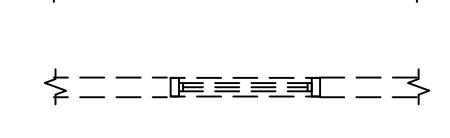
NEW BI-FOLD DOOR



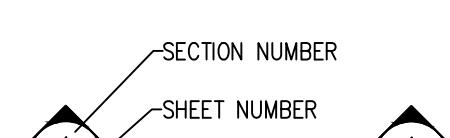
NEW SINGLE POCKET DOOR



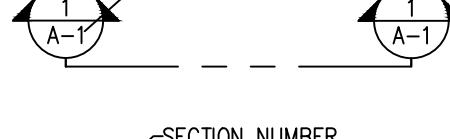
DOOR TO BE REMOVED



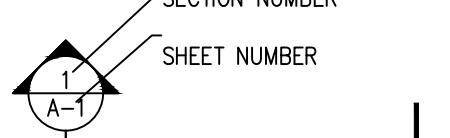
WINDOW TO BE REMOVED



BUILDING SECTION



WALL SECTION



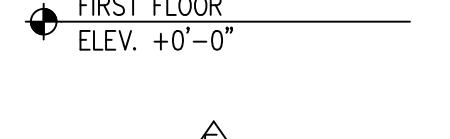
EXTERIOR ELEVATIONS



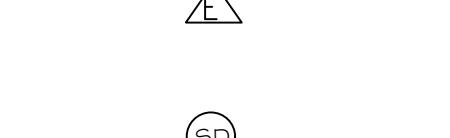
ELEVATION INDICATOR



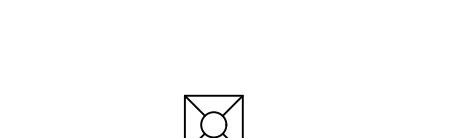
EGRESS WINDOW



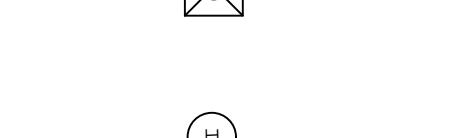
SMOKE DETECTOR/ALARM
HARDWIRED INTERCONNECTED
W/BATTERY BACKUP



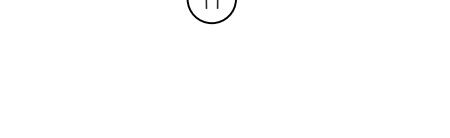
SMOKE/CO DETECTOR/ALARM
HARDWIRED INTERCONNECTED
W/BATTERY BACKUP



BATHROOM EXHAUST FAN/LIGHT
COMBO, DUCTED TO THE EXTERIOR



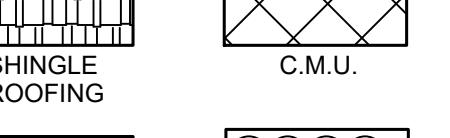
HEAT DETECTOR INTER CONNECTED
WITH BATTERY BACK UP



SHINGLE
ROOFING



C.M.U.



LAP SIDING



CONCRETE



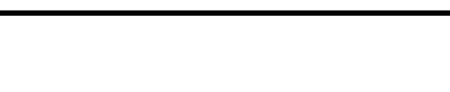
EARTH



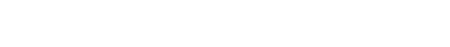
GRAVEL



BATT INSUL.



RIGID INSUL.



SPRAY
INSULATION

STONE VENEER

CONSTRUCTION NOTES

1. Use 1/2" or 7/16" M-1 sheathing for walls, 5/8" sheathing for roof or equivalent.
2. Install electric, heating, and plumbing according to NYS Building Code.
3. These plans do not show all the standard details used during construction. New York State Building code standards and practices should be followed.
4. Footing design is based on normal soil conditions with an allowable load of 1500 psf. If substandard soil (soft clay or silt) is encountered the designer should be contacted.
5. Design is based on a 50 psf ground snow load with applicable modifications. Roof design dead load is 10 psf. Floor design loads are 10 psf dead and 30 psf live for the second and third floor and 10 psf dead and 40 psf live for the first floor.
6. Minimum 28 day compressive strength is 3000 psi for concrete footers and walls and 4000 psi for concrete slabs.
7. Maximum U value for new doors and windows to be .30.
8. Minimum floor to sill window installation height without safety glazing is 18".
9. Smoke alarms are required in each bedroom, outside the bedroom area, and on each floor. A CO detector is required on each floor with a sleeping unit and all floors with CO emitting appliances. Contact CEO for interconnection requirements.
10. Minimum vent pipe diameter is 3"
11. LVLs for headers are to be Trus Joist Microlam, 1.9E, 2600 psi or better.
12. All lumber to be SPF #2 or better.
13. Bridging should be installed at mid span of floor joists.
14. For pressure treated lumber applications use hot dipped galvanized G185 connectors and hardware or stainless steel.
15. Whole house fire suppression system plans, layout and details provided by vendor and subcontractor.

NEIGHBORHOOD TRADITIONAL

FAR CALCULATIONS:
1ST FLOOR 817 SF
2ND FLOOR 725
THIRD FLOOR N/A
BASEMENT N/A
TOTAL 1600 SF
LOT 2000 SF
1600 /2000 = .80

ISR CALCULATIONS:
FOOT PRINT 817
WINDOW WELLS N/A
PORCH/ENTRY 138
DRIVE WAY 200
WALKS 25
TOTAL: 1180
LOT 2000
1280 /2000 = .64

41% OF THE LOT IS GREEN

These plans may be used by the client's design professional as the basis for the remainder of the plan set. Any other plans required for permitting must be submitted by the client or their registered design professional. Required plans may include plumbing, mechanical, electrical, and stormwater.

4.3.4.2. Any finished attic space that is compliant with all height, Setback, tower, turret, and dormer Regulations and that is less than 65% of the at-grade footprint of the Building shall not be included in the FAR calculation.

ABBREVIATIONS

&	AND	EQ	EQUAL	JT.	JOINT	PTD	PAINTED	T.S.	TRANSITION STRIP
@	AT	EXP	EXPANSION	PL.	PLATE	TJ.	TRUSS JOIST I-JOIST		
AFF	ABOVE FINISHED FLOOR	EXIST.	EXISTING	POUND	RECTANGLE	TYP.	TYPIED		
ALUM	ALUMINUM	EXT.	EXTERIOR	LVL	REF.	REF.	REFERENCE		
ANSI	AMERICAN NATIONAL STANDARDS	F.E.	FIRE EXTINGUISHER	MATL.	REFR.	REFR.	REFRIGERATED		
INSTITUTE	INSTITUTE	F.D.N.	FOUNDATION	MAX.	REINF.	REINF.	REINFORCED		
APPROX.	APPROXIMATE, APPROXIMATELY	FF	FACTORY FINISH	MIN.	MANUFACTURER	REQ'D.	REQUIRED		
B.O.	BOTTOM OF	FIN.	FINISHED(ED)	M.O.	MASONRY OPENING	R.O.	ROUGH OPENING		
BD.	BOARD	F.O.	FACE OF	MOD.	MASONRY OPENING	SQ. FT.	SQUARE FEET		
BRG.	BEARING	FTG.	FOOTING	MTD.	MOUNTED	SQ. IN.	SQUARE INCHES		
CLG.	CEILING	GA.	GAUGE	MTL.	METAL	SCW.	SOLID CORE WOOD		
CLR.	CLEAR	G.C.	GENERAL CONTRACTOR	NEC'	NECESSARY	S.S.	STAINLESS STEEL		
CMU	CONCRETE MASONRY UNIT	G.W.B.	GYPSUM WALL BOARD	N.I.C.	NOT IN CONTRACT	SHT.	SHEET		
COL.	COLUMN	GYP.	GYPSUM	NO.	NUMBER	SHTS.	SHEETS		
COLS.	COLUMNS	H.	HIGH	N/A	NOT APPLICABLE	SIM.	SIMILAR		
CONC.	CONCRETE	HB.	HOSE BIBB	O.C.	ON CENTER	SPECS.	SPECIFICATIONS		
CONT.	CONTINUOUS	HDW.	HARDWARE	O.D.	OUTSIDE DIAMETER	STL.	STEEL		
COORD.	COORDINATE	HM	HOLLOW METAL	OPP.	OPPOSITE	T & G	TONGUE AND GROOVE		
D.S.	DOWNSPOUT	HDR.	HEADER	P. LAM.	PLASTIC LAMINATE	TBD.	TO BE DETERMINED		
DIA.	DIAMETER	HT.	HEIGHT	PART.	PARTITION, PARTIAL	TELE.	TELEPHONE		
DISP.	DISPLAY OR DISPENSER	H.W.	HOT WATER	PLYWD.	PLYWOOD	THK.	THICKNESS		
DTL.	DETAIL	I.D.	INSIDE DIAMETER	P.O.S.	POINT OF SALE	THRESH.	THRESHOLD		
E.W.	EGRESS WINDOW	i.e.	INTERIOR	T.O.	TOP OF				
ELEC.	EACH WAY	INT.	INTERIOR						
EPS	ELECTRIC, ELECTRICAL	INSUL.	INSULATION						
	EXPANDED POLYSTYRENE	JAN.	JANITOR						
	FOAM INSULATION								

INDEX OF DRAWINGS

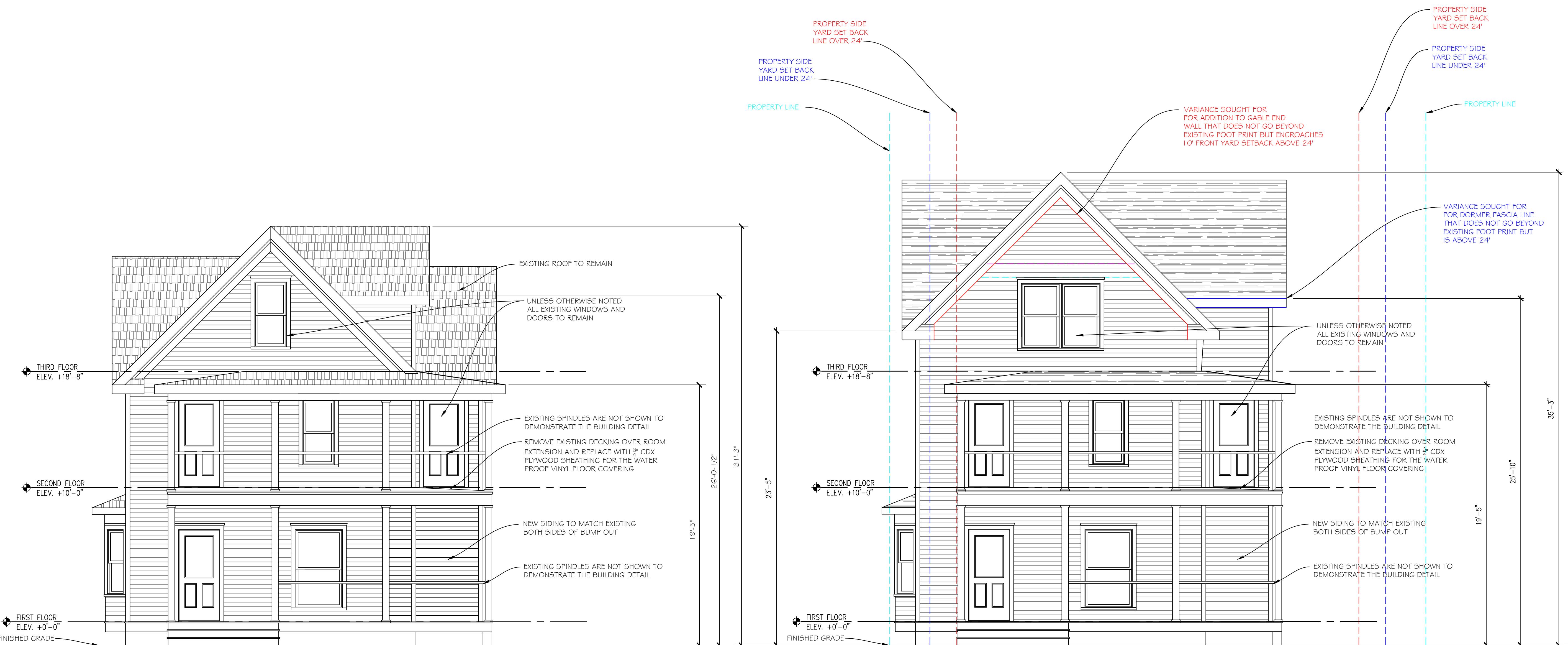
G-1	GENERAL NOTES
A-1	SOUTH ELEVATIONS
A-2	EAST ELEVATIONS
A-3	NORTH ELEVATIONS
A-4	WEST ELEVATION
A-5	SECOND FLOOR PLANS
A-6	THIRD FLOOR PLANS
A-7	ROOF PLANS
S-1	SITE PLAN/DETAILS

GENERAL NOTES
QUAKER HOUSE
28 AMES AVENUE
CHAUTAUQUA, NY 14722

ENGINEER: PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

DESIGNER: JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 DARK STREET
LAKESIDE, CO 80457
(720) 258-7422

DRAWN:
JOE FLIKKEMA
DATE:
12/1/2025
SHEET #: G-1
1 OF 9



SOUTH ELEVATIONS
QUAKER HOUSE
28 AVENUE
CHAUTAUQUA, NY 14722

ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

DESIGNER:

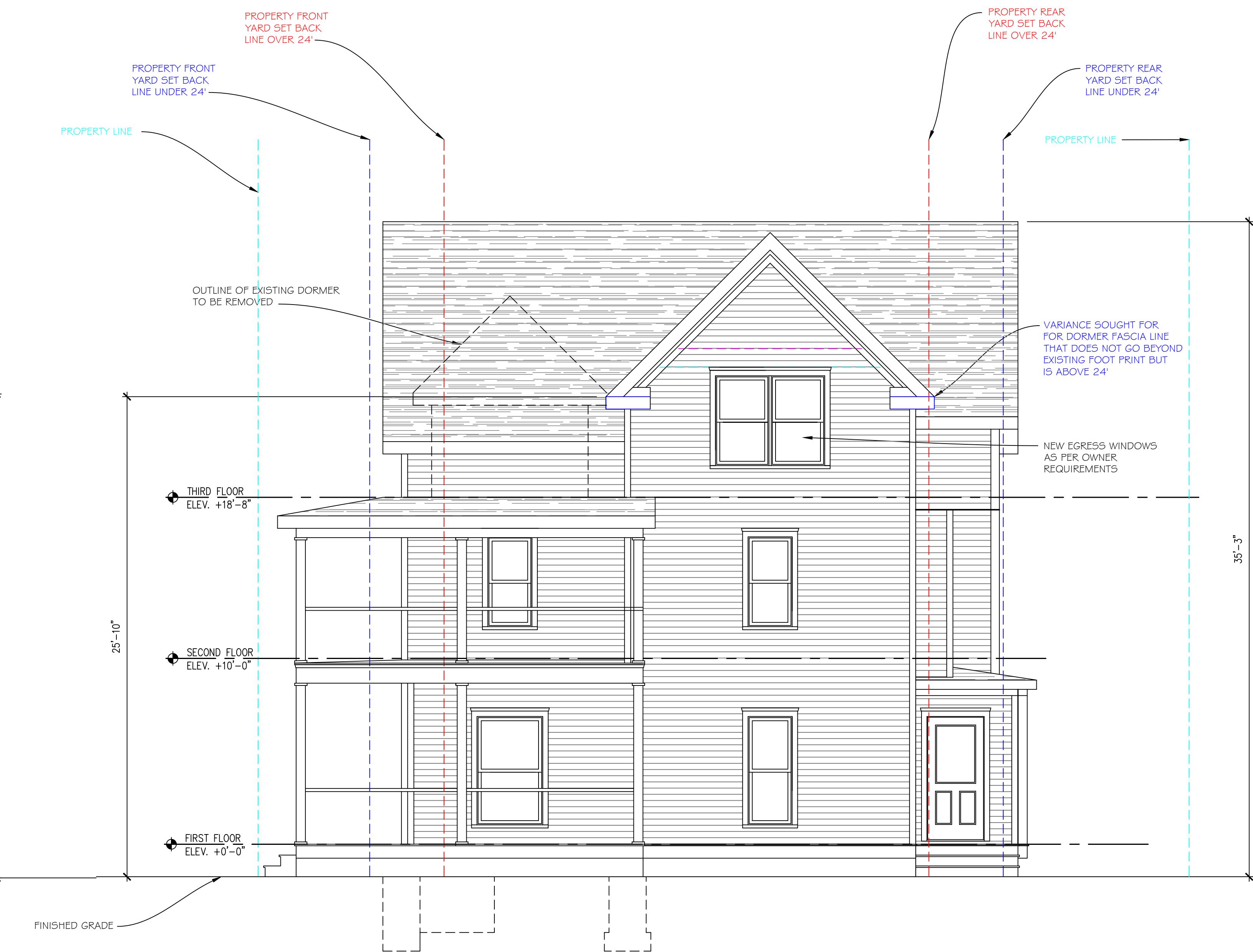
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 DARK STREET
LAKEWOOD, CO 80238
(303) 238-7422

DRAWN:
JOE FLIKKEMA
DATE:
12/11/2025
SHEET #: A.1
2 OF 9



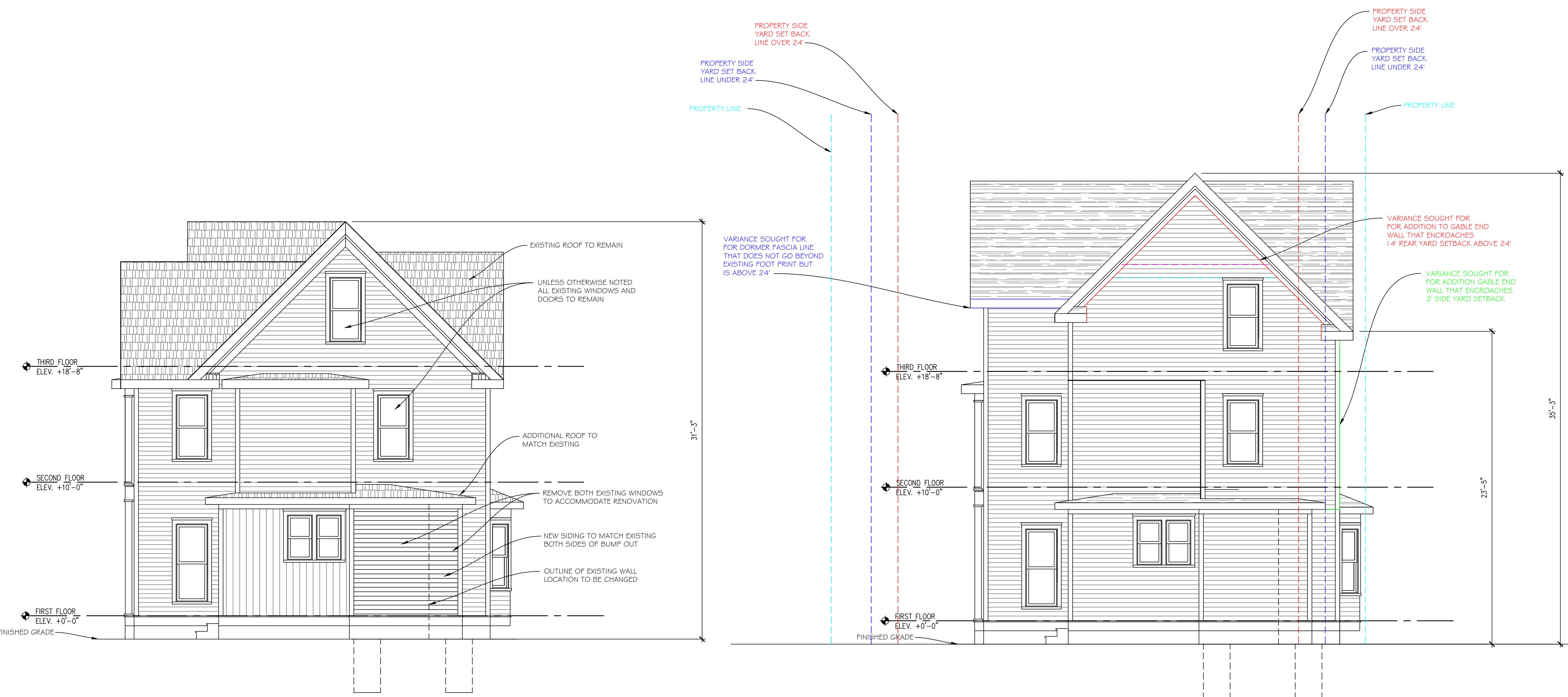
EXISTING EAST ELEVATION

1/4" = 1'-0"



PROPOSED EAST ELEVATION

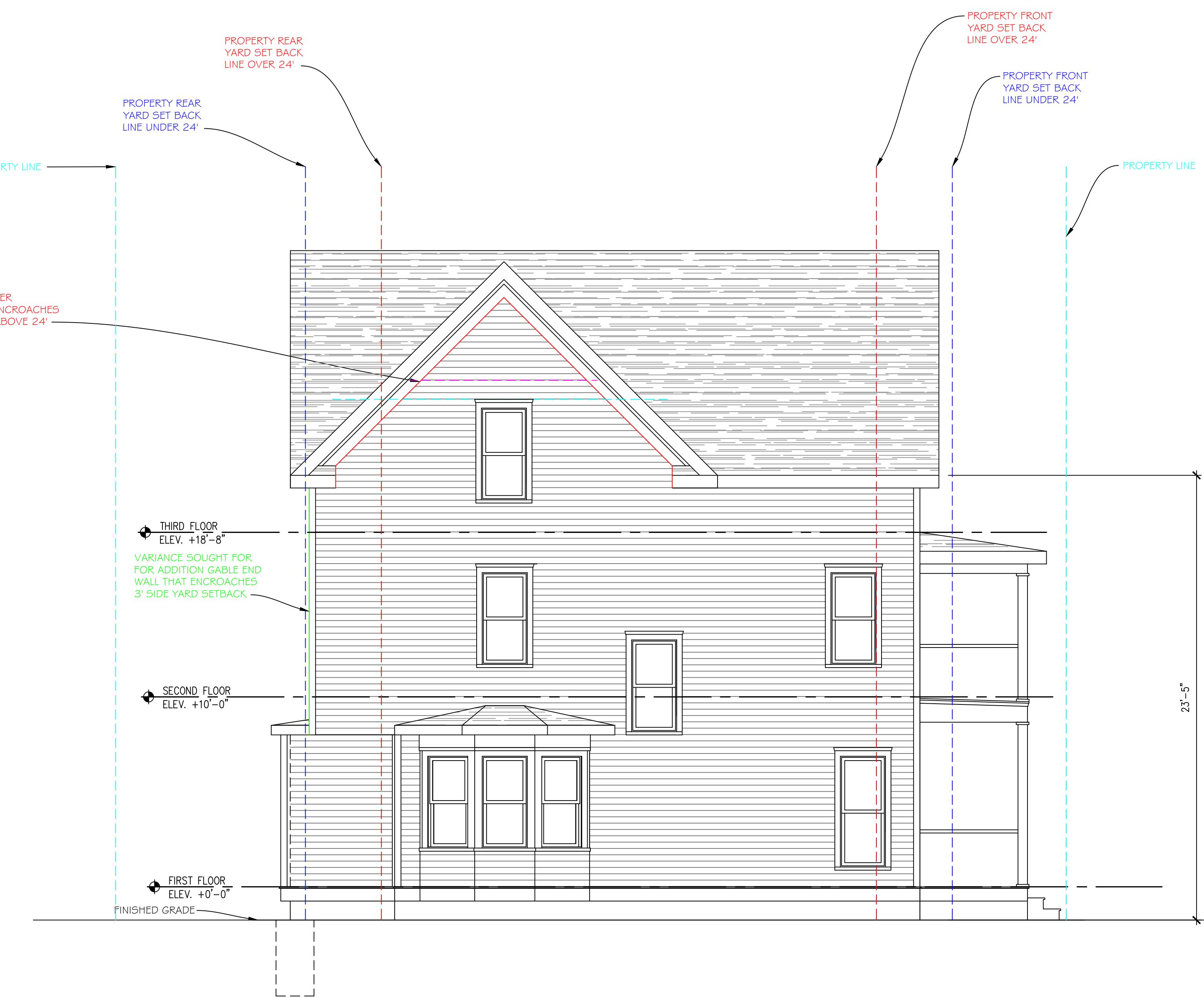
1/4" = 1'-0"





EXISTING WEST ELEVATION

1/4" = 1'-0"



PROPOSED WEST ELEVATION

1/4" = 1'-0"

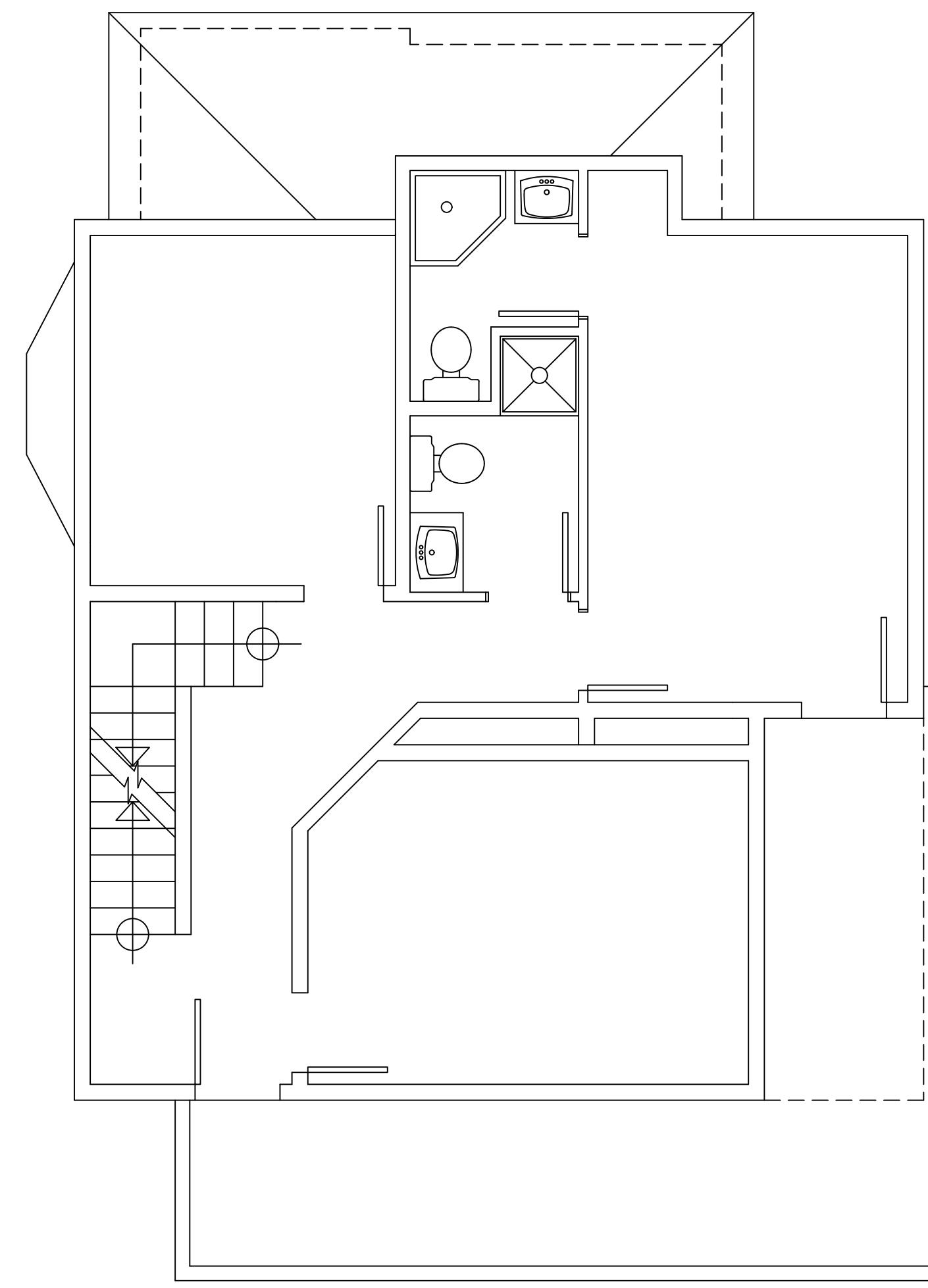
WEST ELEVATIONS
QUAKER HOUSE
28 AVENUE
CHAUTAUQUA, NY 14722

ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC

DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN

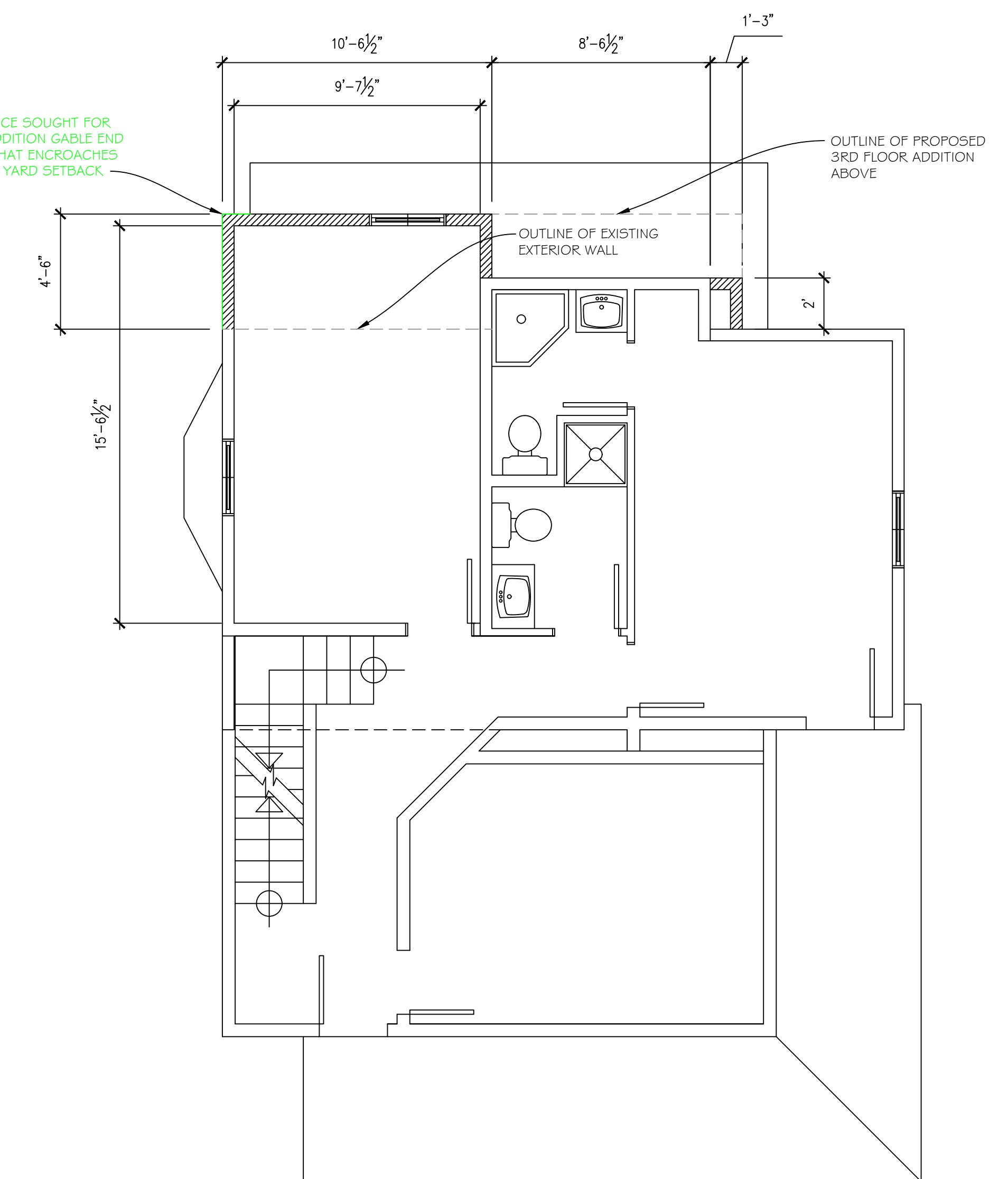
4655 DARK STREET
LAKEWOOD, COLO.
(303) 238-7422

DRAWN:
JOE FLIKKEMA
DATE:
12/1/2025
SHEET #: A4
5 OF 9



EXISTING SECOND FLOOR PLAN

1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

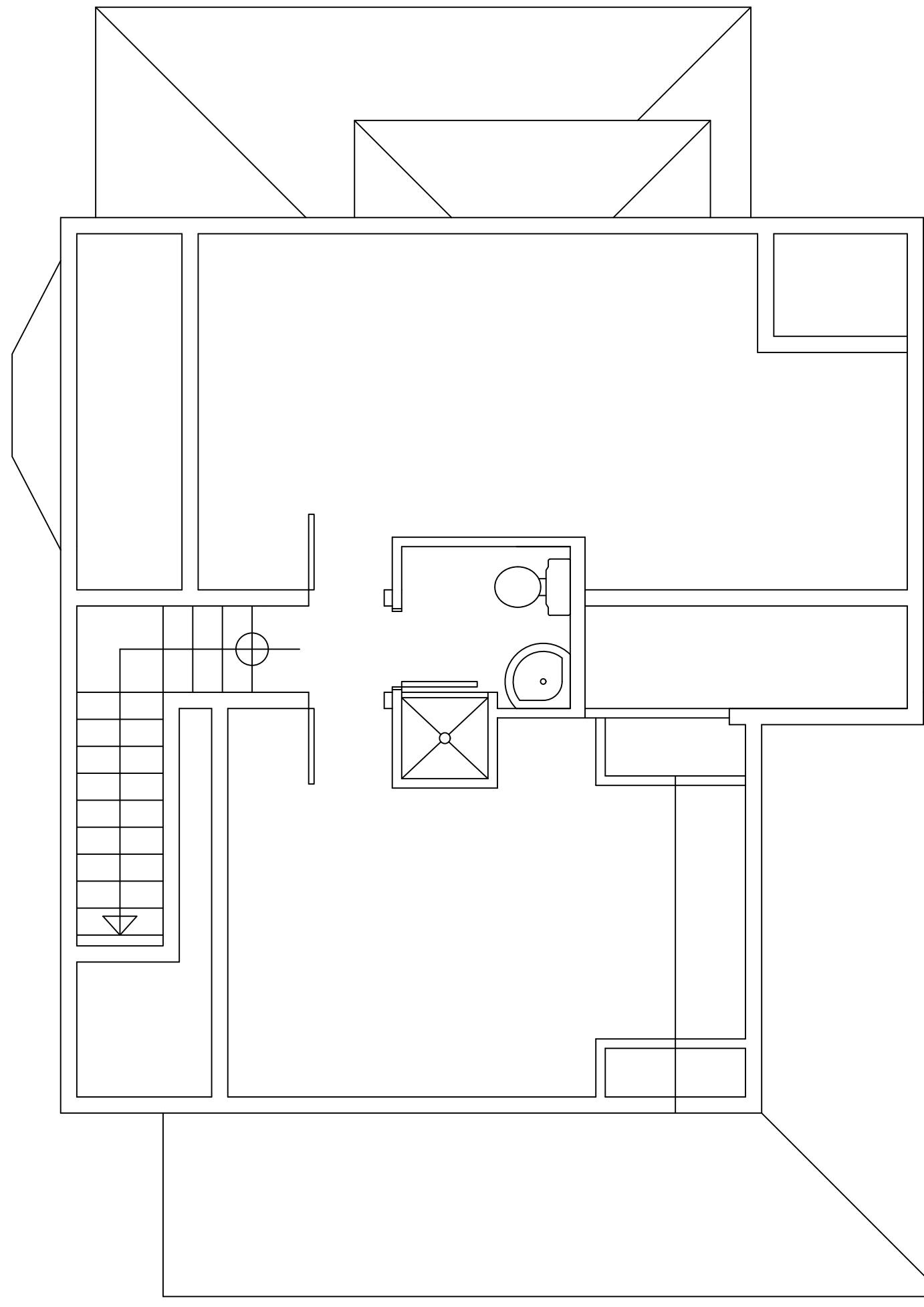
1/4" = 1'-0"

DRAWN:
JOE FLIKKEMA
DATE:
12/1/2025
SHEET #: A5
G. OF 9

ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

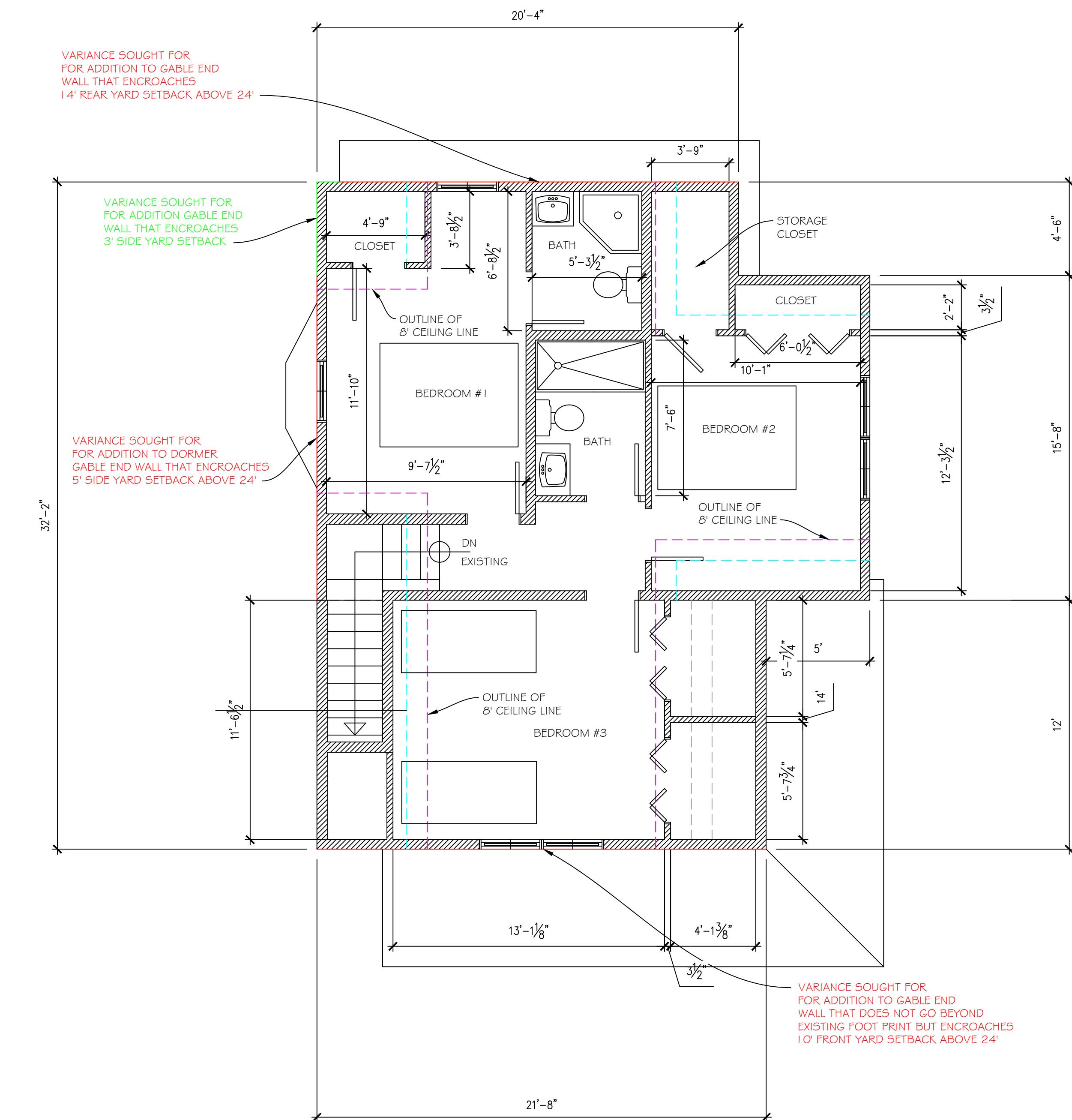
DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 DARK STREET
LAKEWOOD, CO 80226
(303) 238-7422

DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 DARK STREET
LAKEWOOD, CO 80226
(303) 238-7422



EXISTING THIRD FLOOR PLAN

1/4" = 1'-0"



PROPOSED THIRD FLOOR PLAN

1/4" = 1'-0"

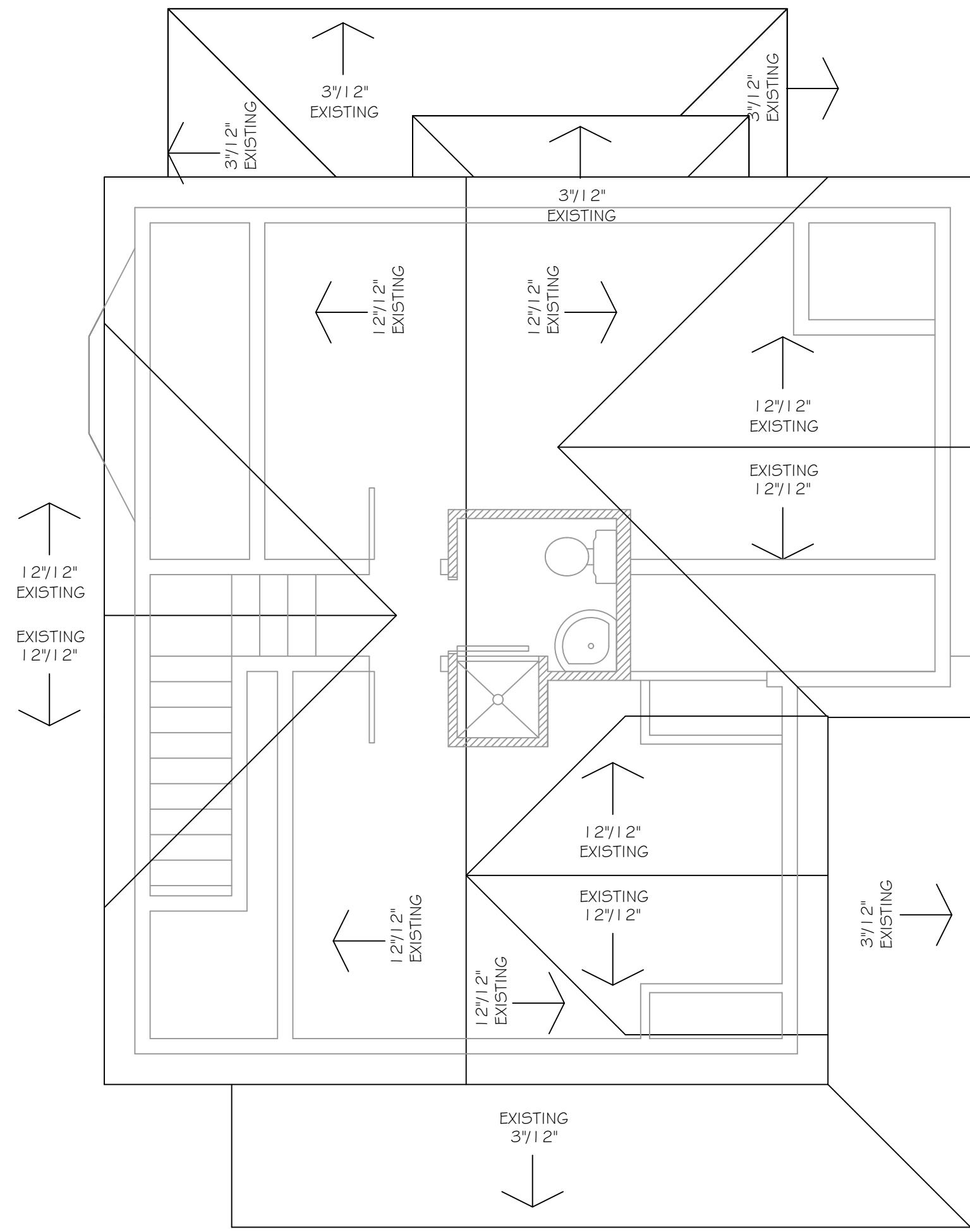
THIRD FLOOR PLAN
QUAKER HOUSE
28 AVES AVENUE
CHAUTAUQUA, NY 14722

ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC

DESIGNER:

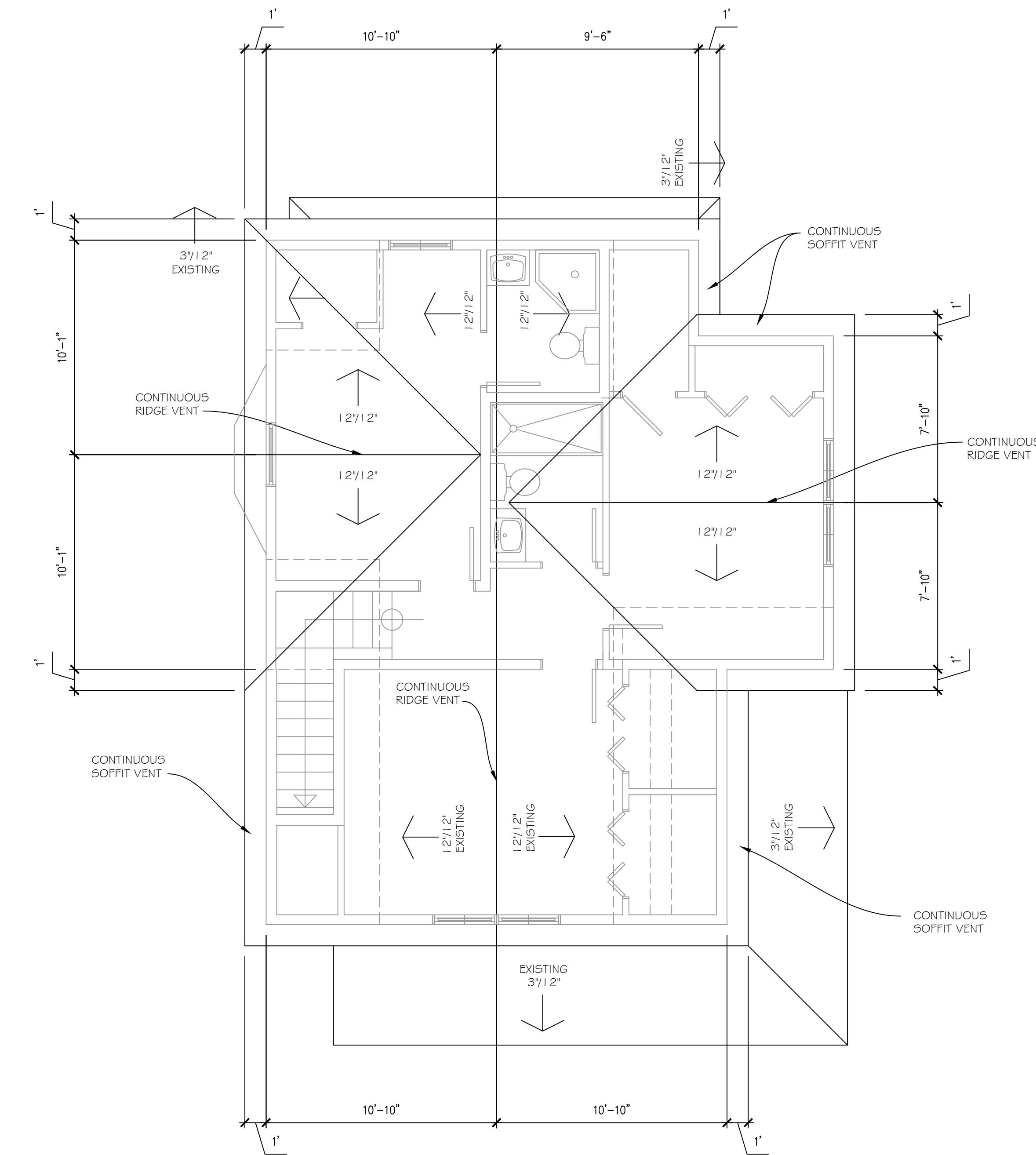
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 DARK STREET
LAKEWOOD, COLO.
(925) 238-7422

DRAWN:
JOE FLIKKEMA
DATE:
12/1/2025
SHEET #: A6
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EXISTING ROOF PLAN

$$1/4" = 1'-0"$$



PROPOSED ROOF PLAN

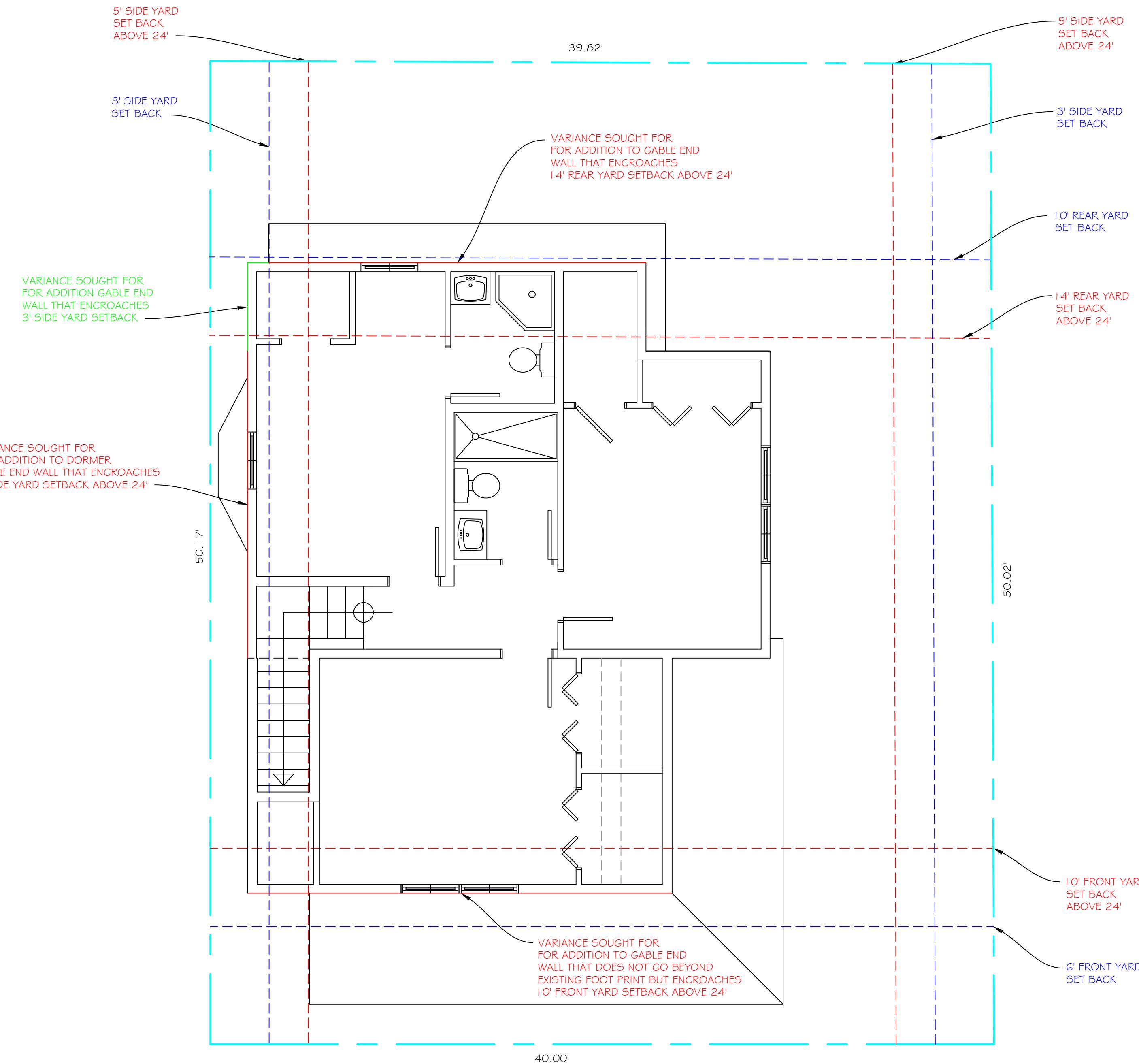
1/4" = 1'-0"

DRAWN: JOE FLIKKEMA	DESIGNER: JOE FLIKKEMA SNOWY MOUNTAIN DESIGN 4655 BAKER STREET LAKEWOOD, NY 14750 (425) 238-7422
DATE: 12/11/2025	ENGINEER: PETER RADKA ROCK HILL ENGINEERING, LLC 6948 KINGS CORNER ROAD PANAMA, NY 14767 (716) 782-2206
ROOF PLANS QUAKER HOUSE 28 AMES AVENUE CHAUTAUQUA, NY 14722 SHEET # A7 309	

NORTH

LEGEND:

- PROPERTY LINE
- PROPERTY SET BACK LINE BELOW 24'
- PROPERTY SET BACK LINE ABOVE 24'



AMES AVENUE

SITE FLOOR PLAN

1/4" = 1'-0"

DRAWN:
JOE FLIKKEMA
DATE:
12/1/2025
SHEET #:
51
9 OF 9

ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6949 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

SITE PLAN-DETAILS
QUAKER HOUSE
28 AVES AVENUE
CHAUTAUQUA, NY 14722

DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 DARK STREET
LAKEWOOD, CO 80234
(720) 238-7422