



OFFICE OF CAMPUS PLANNING & OPERATIONS

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

January 5th 2026

Dear Chautauquan,

The owners of 3 Root, Brian and Keira Digel-Drake, are requesting to come before the Architectural Review Board for the scope of work adding a sunroom addition to the space that they are currently using as a porch with a covered awning with a construction style to match the surrounding Neighborhood Traditional District. The scope of work increases the Floor Area Ratio from 1.155 to 1.215 for the proposed addition. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variances/Requests being considered:

1. Variance for an addition of a sunroom increasing the FAR from 1.155 to 1.215 which is .215 or 715 feet over the allowable FAR for this property (Architectural and Land Use Regulations Section 4.4.3)

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project's scope of work, as well as the link to the ARB meeting Zoom call may be viewed online at the Architecture Review Board (ARB) News and Notes Page at the following link:

www.chq.org/ARB

PO Box 28 • Chautauqua, NY 14722
716.357.6245 • 716.357.9014 (fax)
ARB@chq.org • chq.org

The Architectural Review Board will meet on **February 12th 2026 at 12:00pm Noon over Zoom at a link provided at the ARB Website listed above.** Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at arb@chq.org until 12:00pm noon the day before on February 11th 2026 at 12:00pm Noon. Thank you for your time and consideration!

Respectfully,



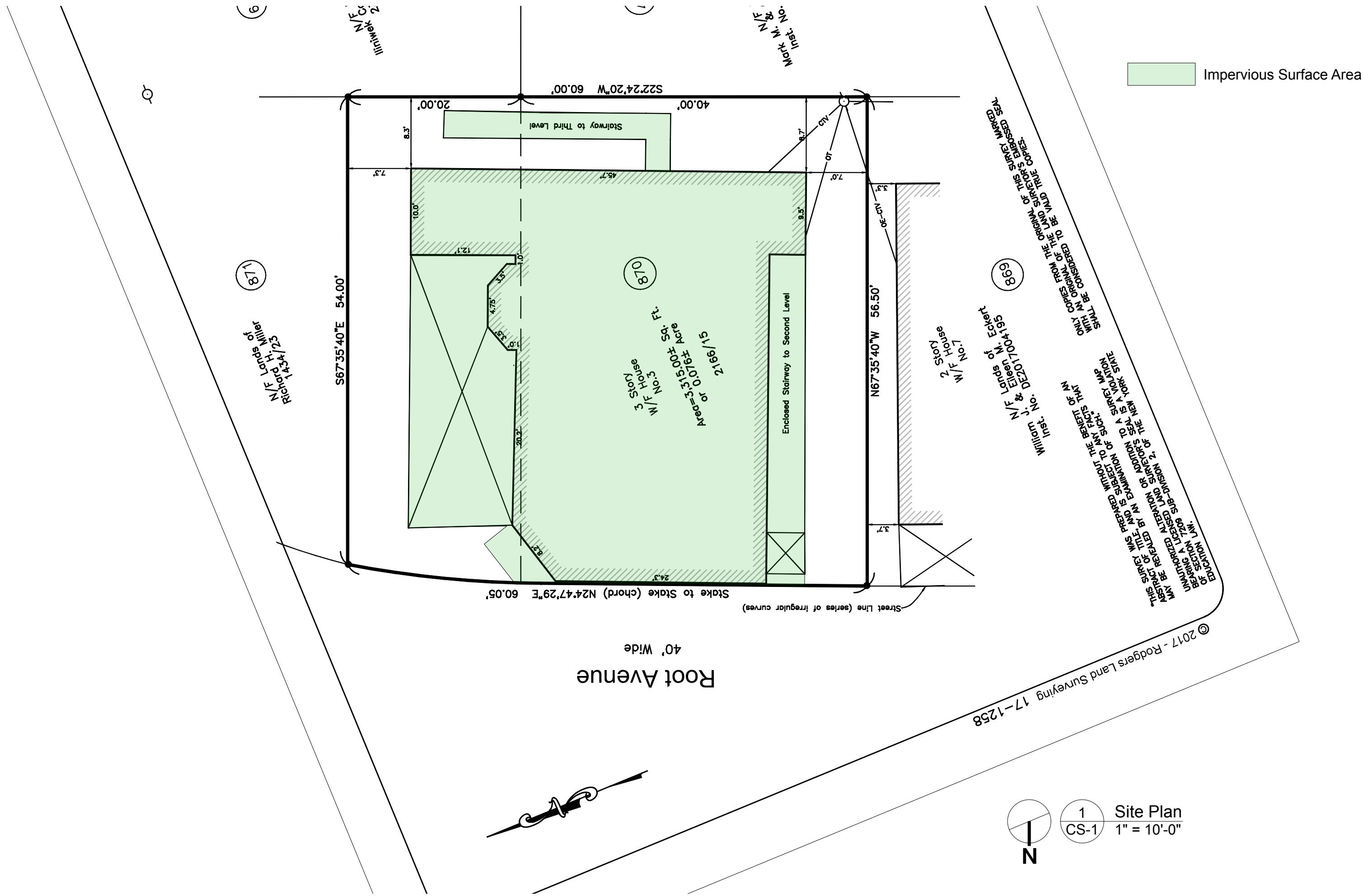
Ryan B. Boughton, Assoc. AIA

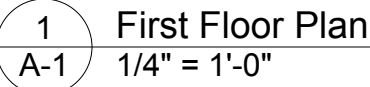
Administrator of Architectural and Land Use Regulations

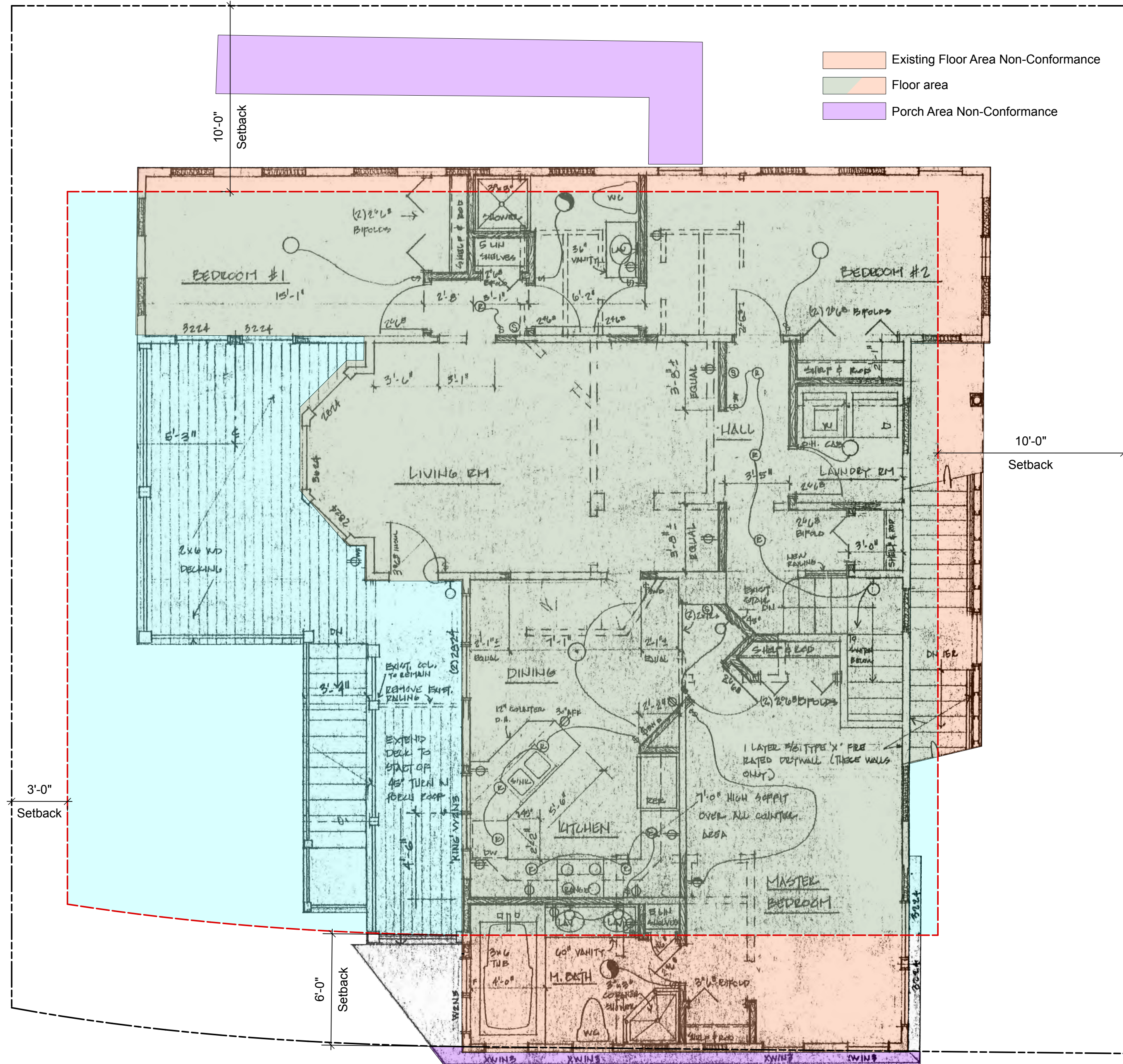
rboughton@chq.org | o: 716.357.6245

Existing Floor Area Ratio's	Area	FAR	Exempt	Subtotal
First Floor	1,300	.392	-	.392
Second Floor	1,460	.440	-	.440
Third Floor	1,070	.323	-	.323
Total FAR				1.155
Note: Third floor entry stair floor area only counted in the first floor				
Proposed Floor Area Ratio's	Area	FAR	Exempt	Subtotal
First Floor	1,300	.392	-	.392
Second Floor	1,460	.440	-	.440
Third Floor	1,270	.323	-	.383
Total FAR				1.215
Note: Third floor entry stair floor area only counted in the first floor				

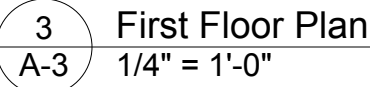
Neighborhood Traditional District			
	Allowable	Existing	Proposed
Min. Lot Width	40'-0"	60'-0"	60'-0"
Min. Lot Area	2,000	3,315	3,315
Maximum FAR	1.0	1.155	1.215
Proposed FAR increase			.060
Maximum ISR	65%	66.3%	66.3%
Building Ht. Eave	24'-0"	22'-0"	22'-0
Building Ht. Roof	36'-0"	35'-0"	35'-0"







2 Second Floor Plan
A-2 1/4" = 1'-0"

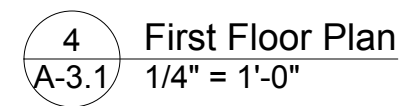


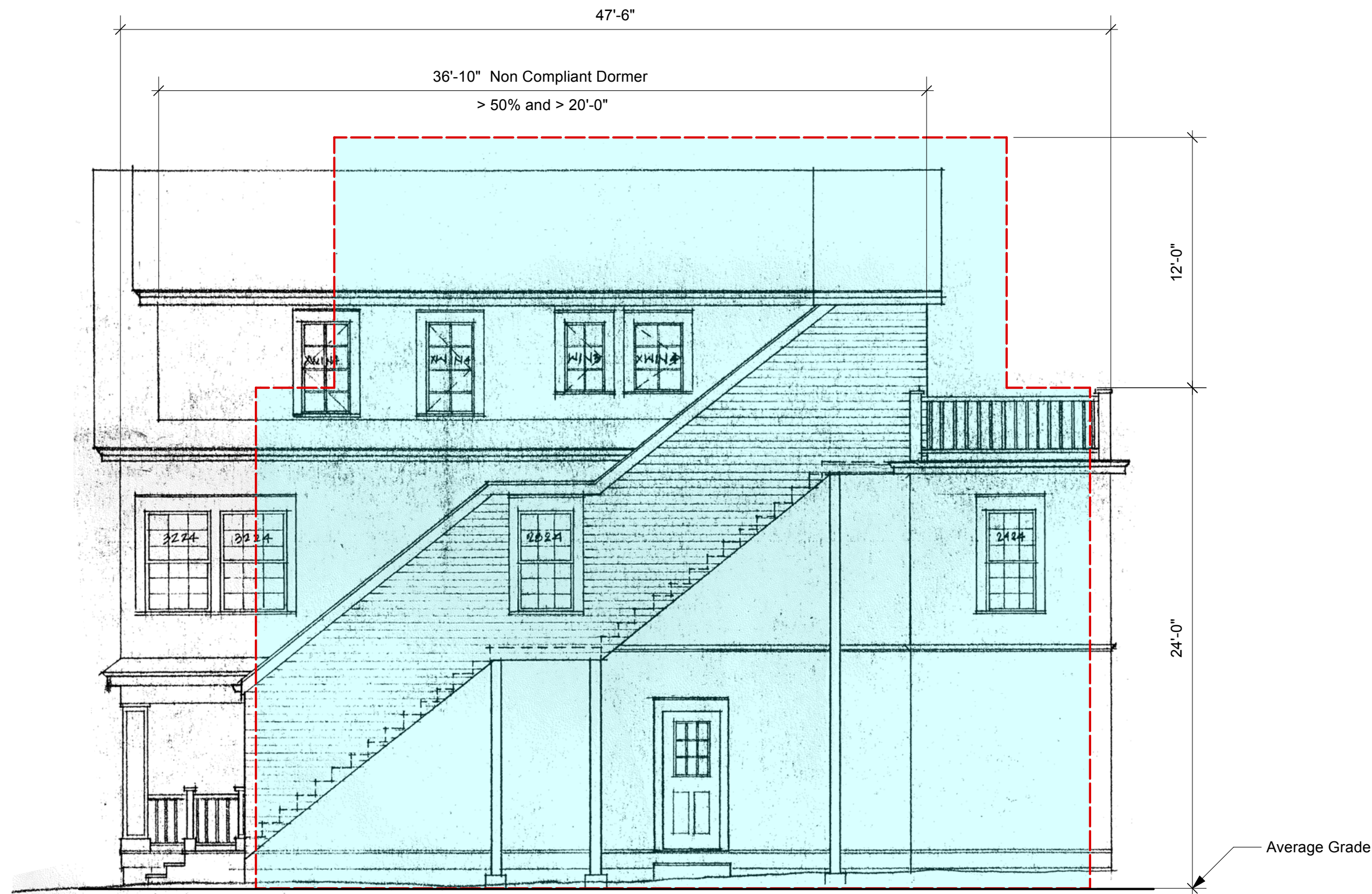
How the space is
being used currently.



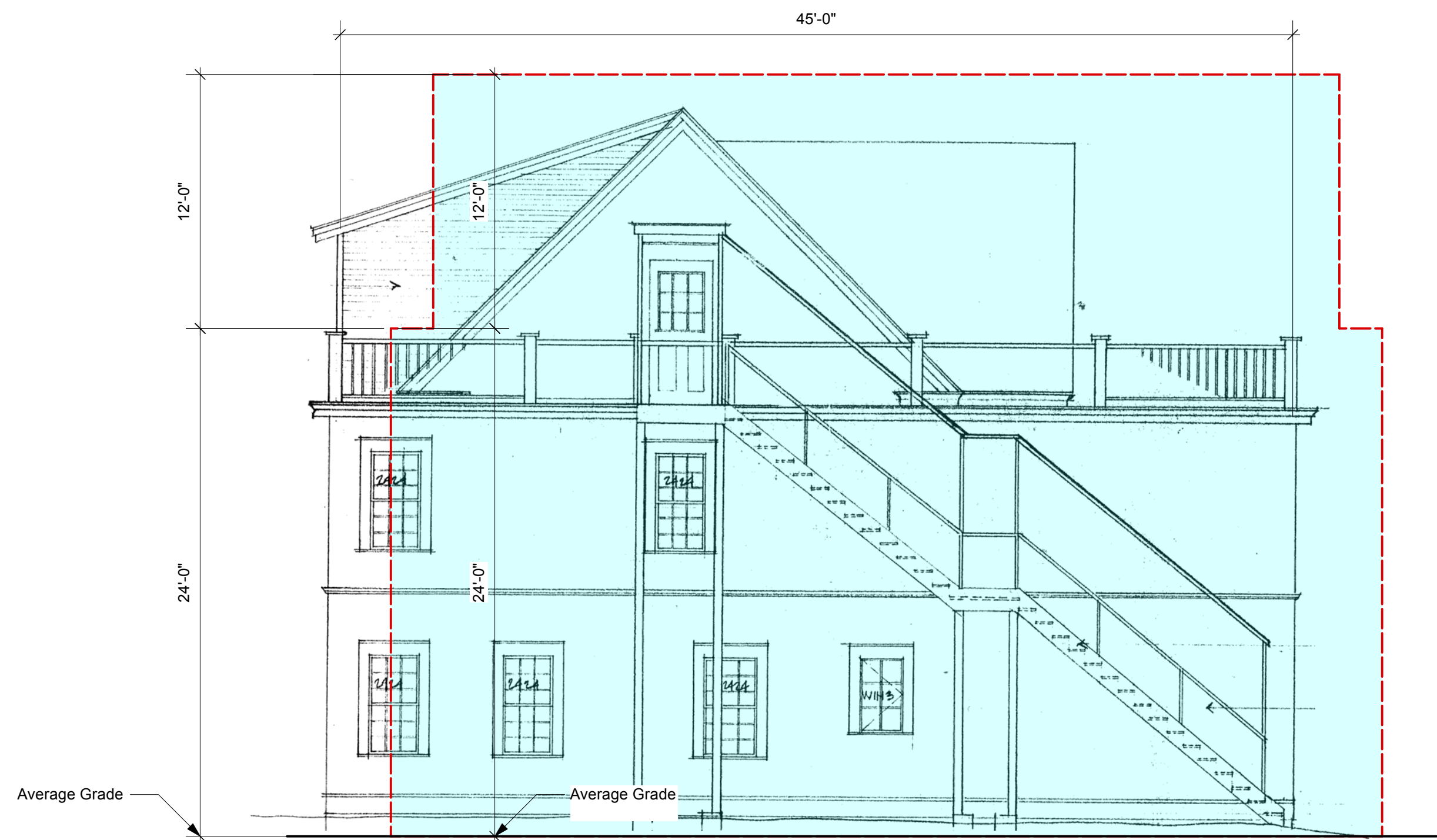
Brian and Keira Digel-Drake
3 Root Avenue
Chautauqua, NY 14722

Drawn By	MBI
Date	10.24.2025
No.	Date





1 Existing West Elevation
A-4 3/16" = 1'-0"



2 Existing South Elevation
A-4 3/16" = 1'-0"

Brian and Keira Digel-Drake
3 Root Avenue
Chautauqua, NY 14722

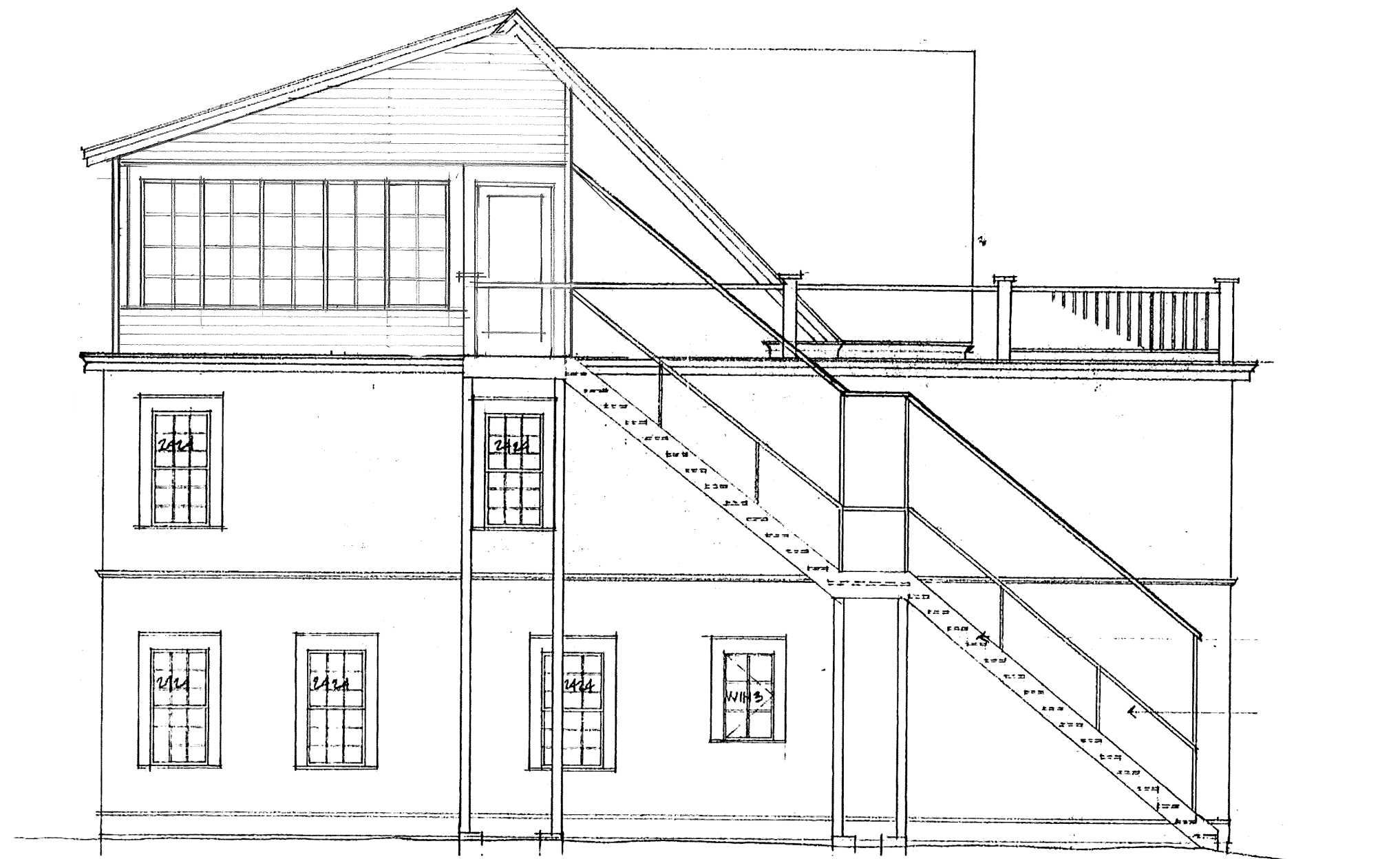
Drawn By MBI
Date 10.24.2025
No. Date

Elevations

A-4



3 Proposed West Elevation
A-4.1 3/16" = 1'-0"



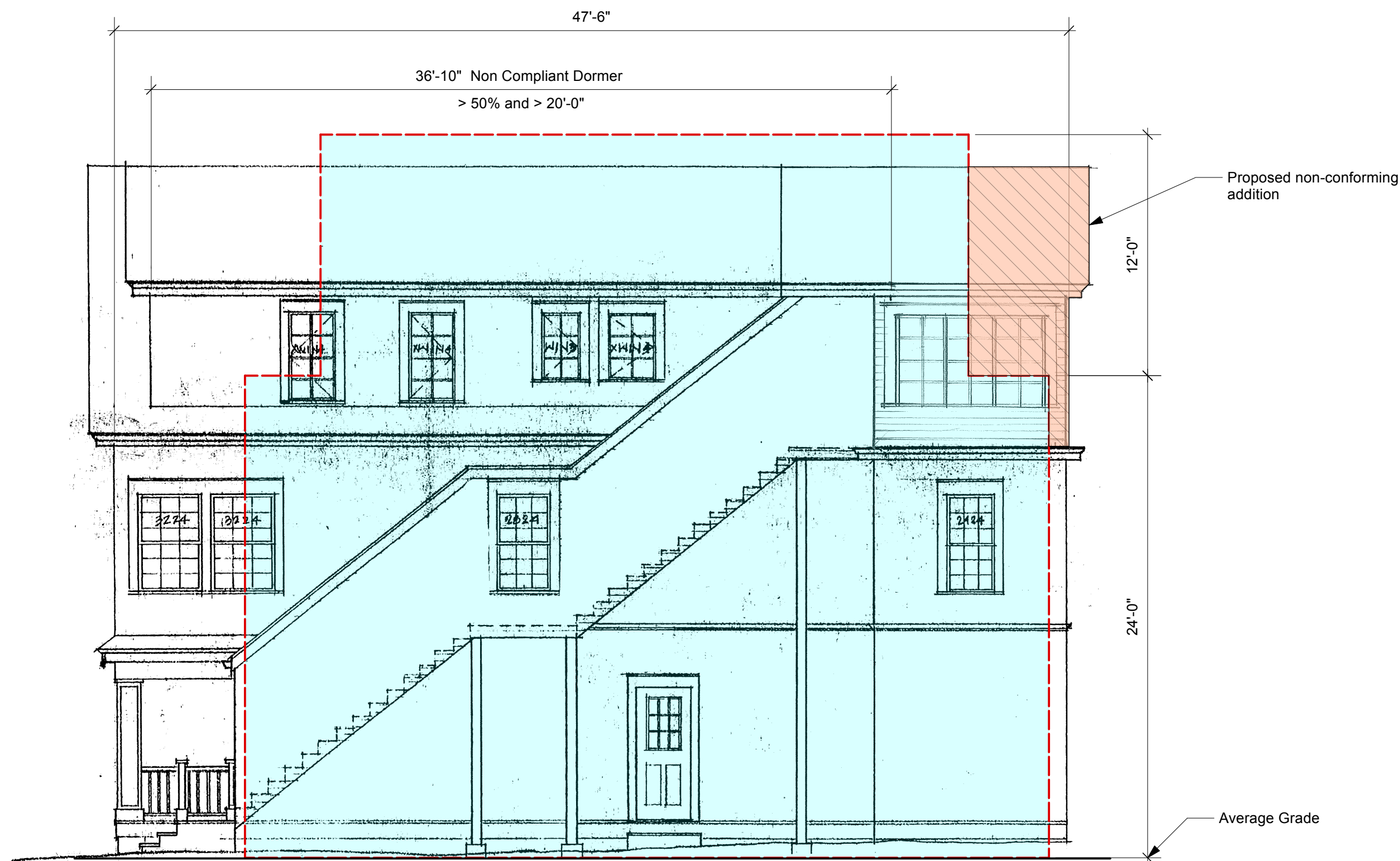
4 Proposed South Elevation
A-4.1 3/16" = 1'-0"

Brian and Keira Digel-Drake
3 Root Avenue
Chautauqua, NY 14722

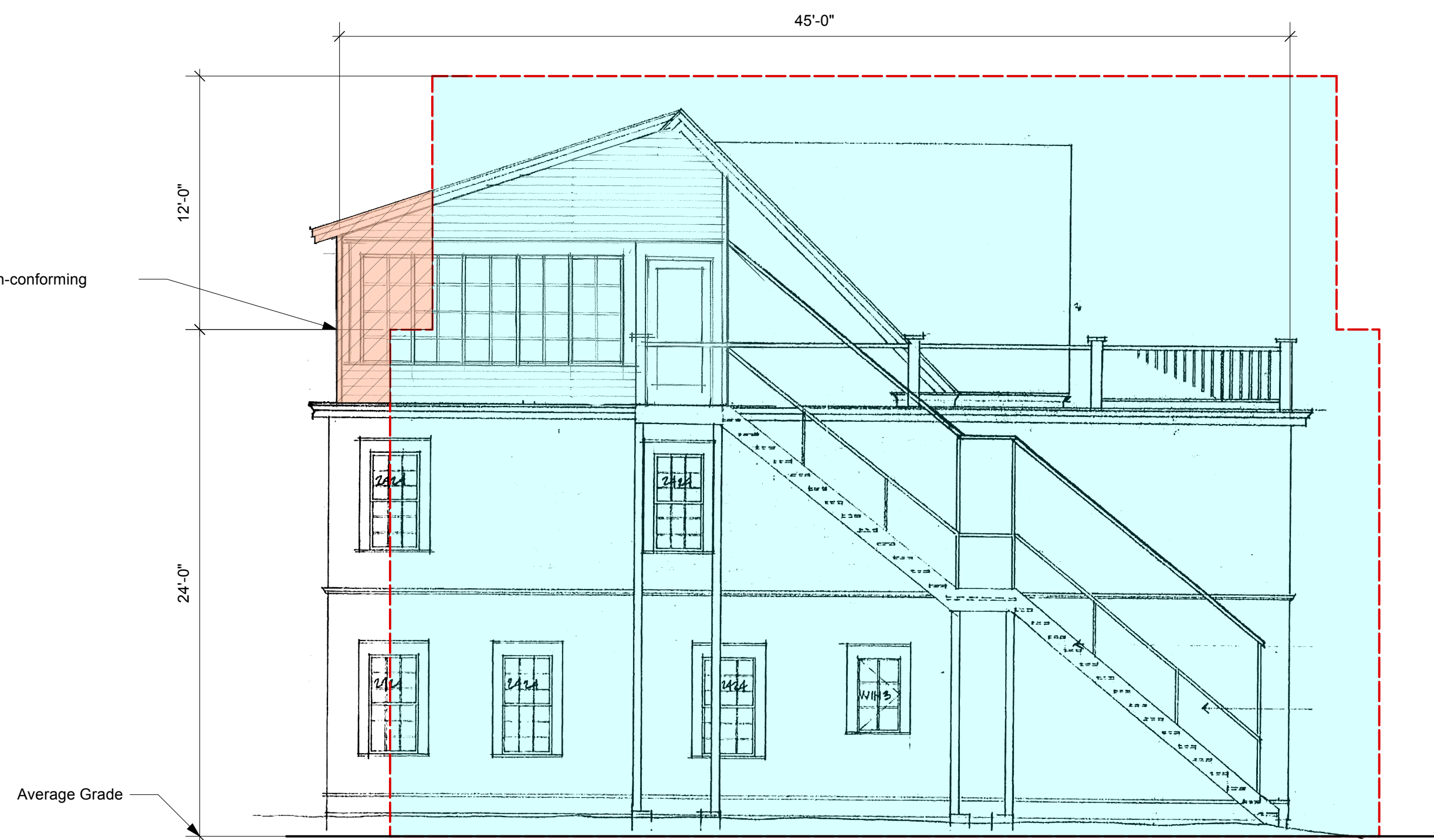
Drawn By MBI
Date 10.24.2025
No. Date

Elevations

A-4.1



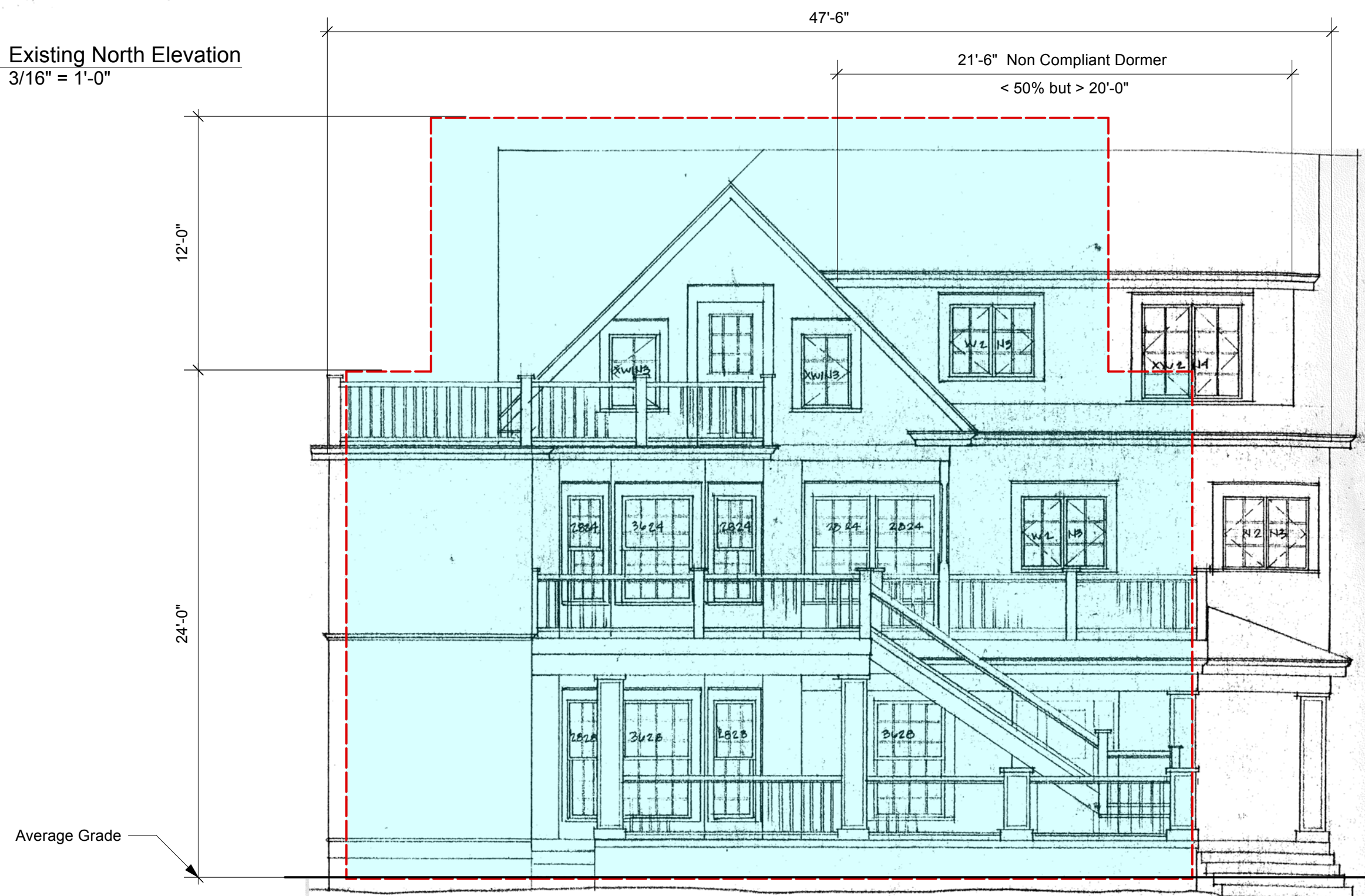
5 Proposed West Elevation
A-4.2 3/16" = 1'-0"



6 Proposed South Elevation
A-4.2 3/16" = 1'-0"



7 Existing North Elevation
A-5 3/16" = 1'-0"



8 Existing East Elevation
A-5 3/16" = 1'-0"

Brian and Keira Digel-Drake
3 Root Avenue
Chautauqua, NY 14722

Drawn By MBI
Date 10.24.2025
No. Date

Elevations

A-5