



OFFICE OF CAMPUS PLANNING & OPERATIONS

ARCHITECTURAL REVIEW BOARD MEETING NOTIFICATION

July 20th, 2026

Dear Chautauquan,

The owners of 28 Ames, The Quaker House at Chautauqua, are requesting to come before the Architectural Review Board for the scope of work adding a basement addition underneath the existing Building's footprint in the Neighborhood Traditional District. The scope of work proposing the basement addition includes an encroachment 1'-6" at the side of the building underneath the footprint of the existing Building, and the construction of a window well that encroaches 4'-6" into the rear yard setback. Therefore, this project requires an Architectural Review Board review for the following considerations required as a part of this proposal's scope of work.

Variances/Requests being considered:

1. Variance for the addition of a window well 4'-6" into the 10'-0" rear yard setback (Architectural and Land Use Regulations Section 4.4.6)
2. Variance for an addition 1'-6" into the 3'-0" side yard setback (Architectural and Land Use Regulations Section 4.4.6)

You are receiving this notification because your property is approximately within 150' of the proposed project site. Plans for this project's scope of work, as well as the link to the ARB meeting Zoom call may be viewed online at the Architecture Review Board (ARB) News and Notes Page at the following link:

www.chq.org/ARB

PO Box 28 • Chautauqua, NY 14722
716.357.6245 • 716.357.9014 (fax)
ARB@chq.org • chq.org

The Architectural Review Board will meet on **August 27th 2026 at 12:00pm Noon at the Turner Community Center Conference Room.** Please submit any comments that you may have in writing for the Architectural Review Board's consideration. E-mails are preferred and may be submitted to the Administrator of Architectural and Land Use Regulations at arb@chq.org until 12:00pm noon the day before on August 19th 2026 at 12:00pm Noon. Thank you for your time and consideration!

Respectfully,



Ryan B. Boughton, Assoc. AIA

Administrator of Architectural and Land Use Regulations

rboughton@chq.org | o: 716.357.6245

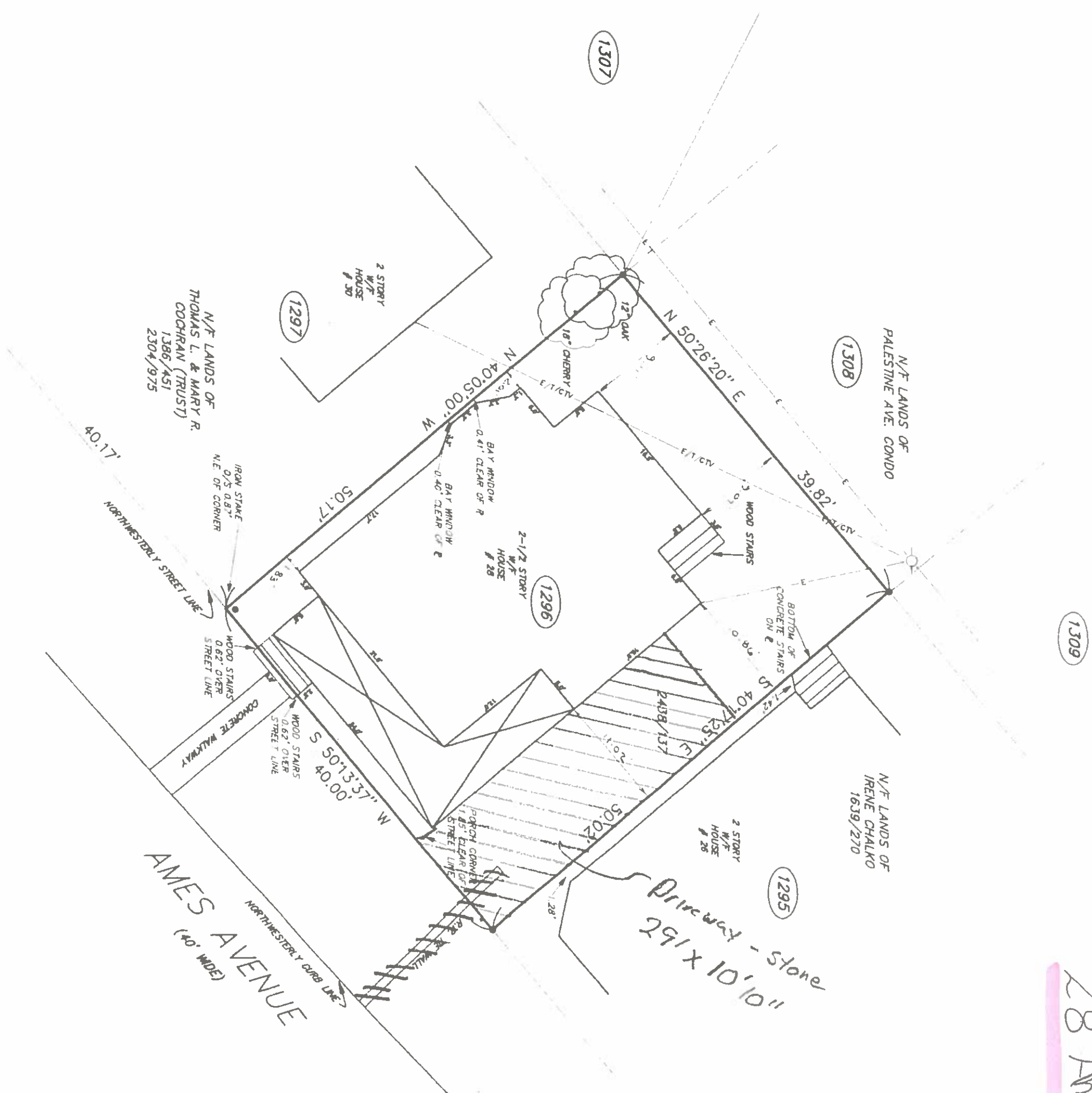
28 Ames

LOT 1296

LEGEND:

- - IRON STAKE FOUND
- N/F - NOW OF FORMERLY
- H.L.C.S. - HOLLAND LAND COMPANY'S SURVEY
- W/F - WOOD FRAME
- E- - OVERHEAD ELECTRIC
- E/T/CTV- - OVERHEAD ELECTRIC/TELEPHONE/CABLE TELEVISION
- O- - UTILITY POLE

1296 - LOT NUMBERS AS SHOWN ON THE OFFICIAL MAP OF CHAUTAUQUA INSTITUTION FILED IN THE CHAUTAUQUA COUNTY CLERK'S OFFICE IN CABINET 2 - SECTION E - MAP 159 ON APRIL 25, 1939



QUAKER HOUSE BASEMENT ADDITION

28 AMES AVENUE, CHAUTAUQUA, NY 14722

SYMBOL LEGEND

	NEW POURED CONC. FDN WALL CONSTRUCTION
	NEW CMU FDN WALL CONSTRUCTION
	NEW WOOD STUD WALL CONSTRUCTION
	EXISTING WOOD STUD WALL CONSTRUCTION
	WALLS TO BE REMOVED
	NEW SINGLE DOOR
	NEW DOUBLE DOOR
	NEW SLIDING DOOR
	NEW BI-FOLD DOOR
	NEW SINGLE POCKET DOOR
	DOOR TO BE REMOVED
	WINDOW TO BE REMOVED
	BUILDING SECTION
	WALL SECTION
	EXTERIOR ELEVATIONS
	ELEVATION INDICATOR
	EGRESS WINDOW
	SMOKE DETECTOR/ALARM HARDWIRED INTERCONNECTED W/BATTERY BACKUP
	SMOKE/CO DETECTOR/ALARM HARDWIRED INTERCONNECTED W/BATTERY BACKUP
	BATHROOM EXHAUST FAN/LIGHT COMBO, DUCTED TO THE EXTERIOR
	HEAT DETECTOR INTER CONNECTED WITH BATTERY BACK UP
	SHINGLE ROOFING
	GRAVEL
	C.M.U.
	LAP SIDING
	CONCRETE
	EARTH
	BATT INSUL.
	RIGID INSUL.
	SPRAY INSULATION
	STONE VENEER

CONSTRUCTION NOTES

1. Use 1/2" or 7/16" M-1 sheathing for walls, 5/8" sheathing for roof or equivalent.
2. Install electric, heating, and plumbing according to NYS Building Code.
3. These plans do not show all the standard details used during construction. New York State Building code standards and practices should be followed.
4. Footing design is based on normal soil conditions with an allowable load of 1500 psf. If substandard soil (soft clay or silt) is encountered the designer should be contacted.
5. Design is based on a 50 psf ground snow load with applicable modifications. Roof design dead load is 10 psf. Floor design loads are 10 psf dead and 30 psf live for the second and third floor and 10 psf dead and 40 psf live for the first floor.
6. Minimum 28 day compressive strength is 3000 psi for concrete footers and walls and 4000 psi for concrete slabs.
7. Maximum U value for new doors and windows to be .30.
8. Minimum floor to sill window installation height without safety glazing is 18".
9. Smoke alarms are required in each bedroom, outside the bedroom area, and on each floor. A CO detector is required on each floor with a sleeping unit and all floors with CO emitting appliances. Contact CEO for interconnection requirements.
10. Minimum vent pipe diameter is 3"
11. LVLs for headers are to be Trus Joist Microlam, 1.9E, 2600 psi or better.
12. All lumber to be SPF #2 or better.
13. Bridging should be installed at mid span of floor joists.
14. For pressure treated lumber applications use hot dipped galvanized G185 connectors and hardware or stainless steel.
15. Whole house fire suppression system plans , layout and details provided by vendor and subcontractor.

NEIGHBORHOOD TRADITIONAL

FAR CALCULATIONS:
1ST FLOOR 817 SF
2ND FLOOR 725
THIRD N/A
BASEMENT N/A
TOTAL 1542 SF
LOT 2000 SF
1542/2000 = .77

ISR CALCULATIONS:
FOOT PRINT 817
WINDOW WELLS 72
PORCH/ENTRY 138
GRAVEL DRIVE WAY 200
WALKS 25
TOTAL: 1252
LOT 2000
1152/2000 = .58

42% OF THE LOT IS GREEN

DRIVE WAY IS PERMEABLE GRAVEL -50%

These plans may be used by the client's design professional as the basis for the remainder of the plan set. Any other plans required for permitting must be submitted by the client or their registered design professional. Required plans may include plumbing, mechanical, electrical, and stormwater.

ABBREVIATIONS

&
@
AFF
ALUM
ANSI

APPROX.
B.O.
BD.
BRG.
CLG.
CLR.
CMU
COL.
COLS.
CONC.
CONT.
COORD.
D.S.
DIA.
DISP.
DTL
E
E.W.
ELEC.
EPS

AND
EXP
ABOVE FINISHED FLOOR
ALUMINUM
AMERICAN NATIONAL STANDARDS
INSTITUTE
APPROXIMATE, APPROXIMATELY
BOTTOM OF
BOARD
BEARING
CEILING
CLEAR
CONCRETE MASONRY UNIT
COLUMN
COLUMNS
CONCRETE
CONTINUOUS
COORDINATE
DOWNSPOUT
DIAMETER
DISPLAY OR DISPENSER
DETAIL
EGRESS WINDOW
EACH WAY
ELECTRIC, ELECTRICAL
EXPANDED POLYSTYRENE
FOAM INSULATION

EQ
EXP
EXIST.
EXT.
F.E.
FDN
FF
FIN.
F.O.
FTG.
GA.
G.C.
G.W.B.
GYP.
H
HB.
HDW
HM
HDR
HT.
H.W.
I.D.
i.e.
INT
INSUL.
JAN.

EQUAL
EXPANSION
EXISTING
EXTERIOR
FIRE EXTINGUISHER
FOUNDATION
FACTORY FINISH
FINISHED
FACE OF
FOOTING
GAUGE
GENERAL CONTRACTOR
GYPSUM WALL BOARD
GYPSUM
HIGH
HOSE BIBB
HARDWARE
HOLLOW METAL
HEADER
HEIGHT
HOT WATER
INSIDE DIAMETER
THAT IS
INTERIOR
INSULATION
JANITOR

JT.
LB
LVL
MATL.
MAX.
MFR.
MIN.
M.O.
MOD
MTD
MTL
NECY
N.I.C.
NO.
N/A
O.C.
O.D.
OPP.
P. LAM.
PART.
PLYWD.
P.O.S.

JOINT
POUND
LAMINATED VENEER LUMBER
MATERIAL
MAXIMUM
MANUFACTURER
MINIMUM
MASONRY OPENING
MODIFIED
MOUNTED
METAL
NECESSARY
NOT IN CONTRACT
NUMBER
NOT APPLICABLE
ON CENTER
OUTSIDE DIAMETER
OPPOSITE
PLASTIC LAMINATE
PARTITION, PARTIAL
PLYWOOD
POINT OF SALE

PTD
P.L
RECEP.
REF.
REINF.
REQ'D
R.O.
SQ. FT.
SQ. IN.
SCW
S.S.
SHT.
SHTS.
SIM.
SPECS
STL.
T & G
TBD
TELE.
THK
THRESH
T.O.

PAINTED
PLATE
RECEPTACLE
REFER, REFERENCE
REINFORCED
REQUIRED
ROUGH OPENING
SQUARE FEET
SQUARE INCHES
SOLID CORE WOOD
STAINLESS STEEL
SHEET
SHEETS
SIMILAR
SPECIFICATIONS
STEEL
TONGUE AND GROOVE
TO BE DETERMINED
TELEPHONE
THICKNESS
THRESHOLD
TOP OF

T.S.
TJI
TYP
UON
VIF
W
WD
WT
WWF
XPS

TRANSITION STRIP
TRUSS JOIST I-JOIST
TYPICAL
UNLESS OTHERWISE NOTED
VINYL COMPOSITION
VERIFY IN FIELD
WIDE
WITH
WOOD
WATER
WELDED WIRE FABRIC
EXTRUDED RIGID POLYSTYRENE
FOAM INSULATION

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DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LAKE ARTHUR, NY 14750
(425) 238-7422

ENGINEER:

PETER RADKA
ROCK HILL ENGINEERING, LLC
6349 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

GENERAL NOTES
QUAKER HOUSE
28 AMES AVENUE
CHAUTAUQUA, NY 14722

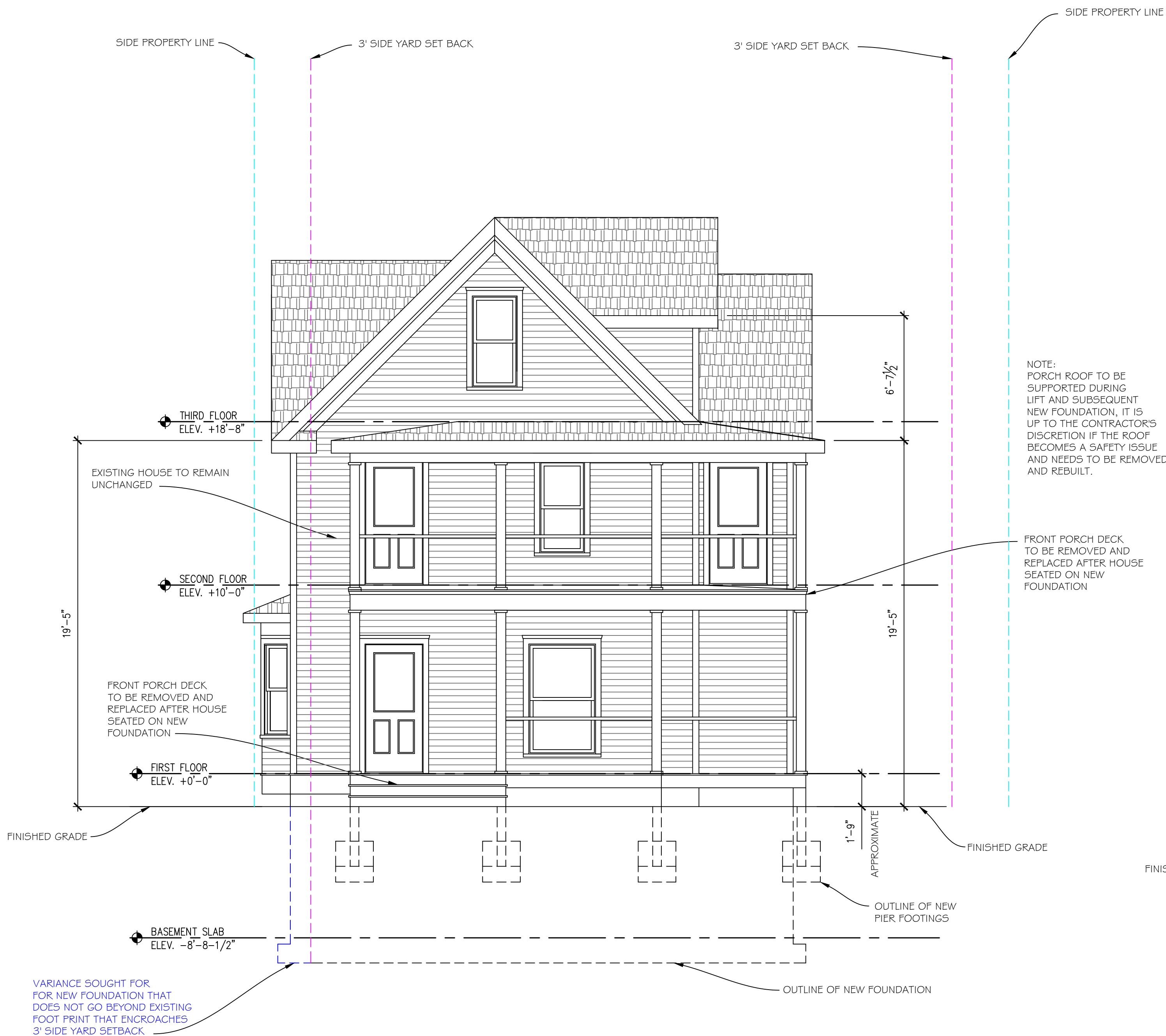
DRAWN:
JOE FLIKKEMA

DATE:
7/5/2026

SHEET # G1
1 OF 7

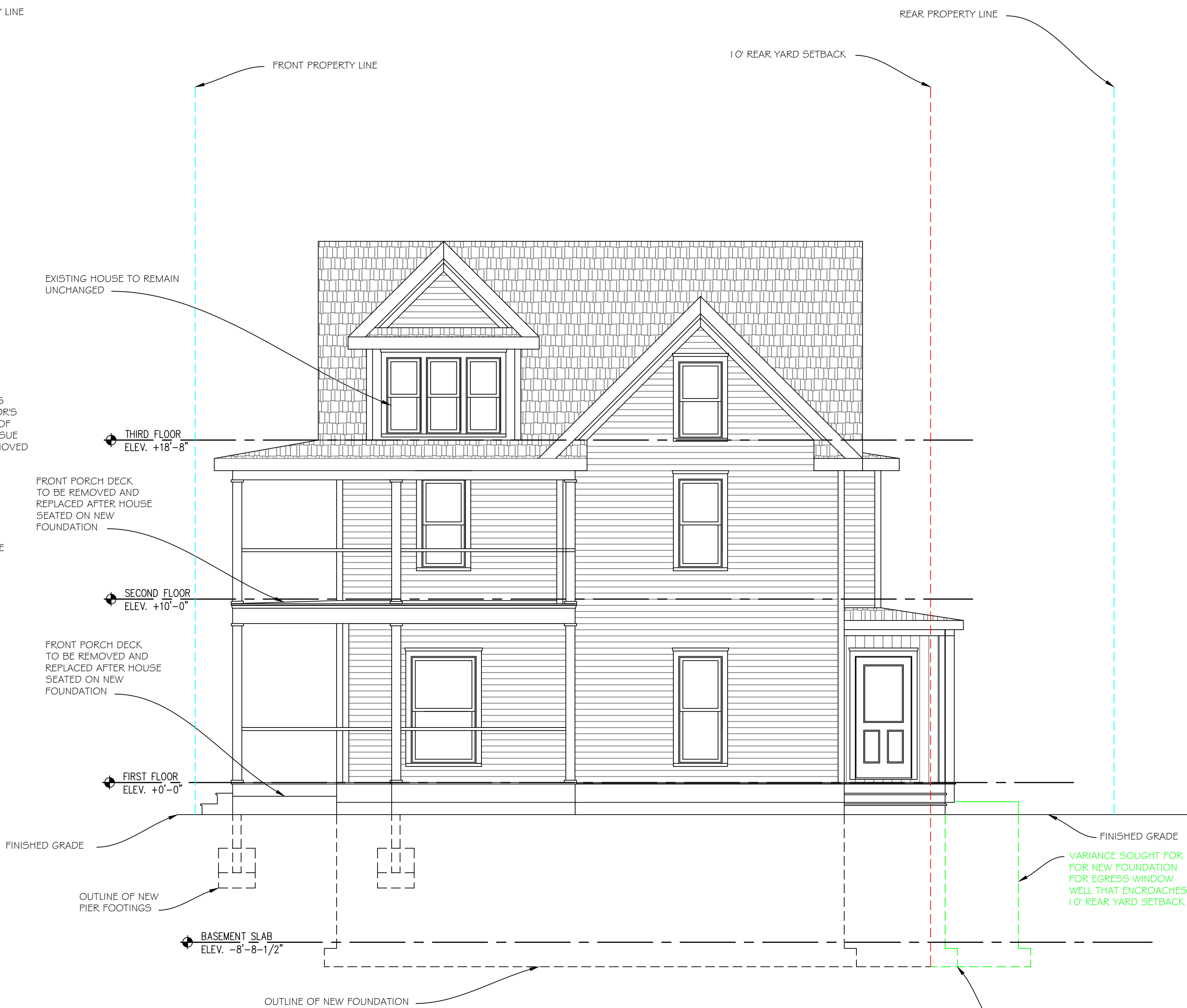
LEGEND:

- PROPERTY LINE
3' SIDE YARD SET BACK
10' REAR YARD SETBACK
NEW CONSTRUCTION ENCROACHING ON 5' SIDE YARD SETBACK
NEW CONSTRUCTION ENCROACHING ON 10' REAR YARD SETBACK



SOUTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BACK STREET
LAKEVILLE, VT 05401
(455) 238-7422

ENGINEER:

PETER RADKA
ROCK HILL ENGINEERING, LLC
6349 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

SOUTH-EAST ELEVATIONS

QUAKER HOUSE
300 MAIN STREET
CHAUTAUQUA, NY 14722

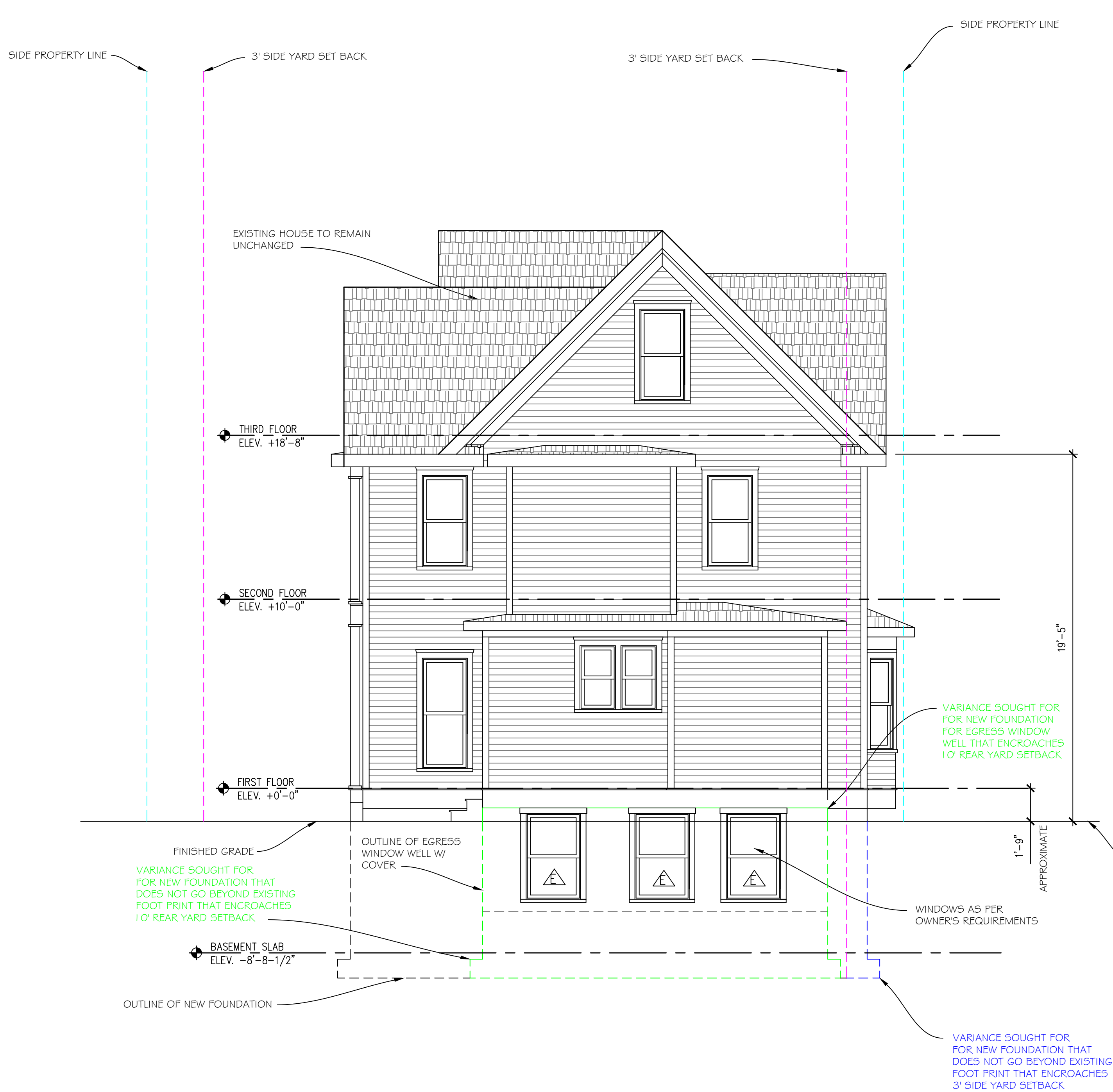
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JOE FLIKKEMA

DATE:
7/5/2026

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2 OF 7

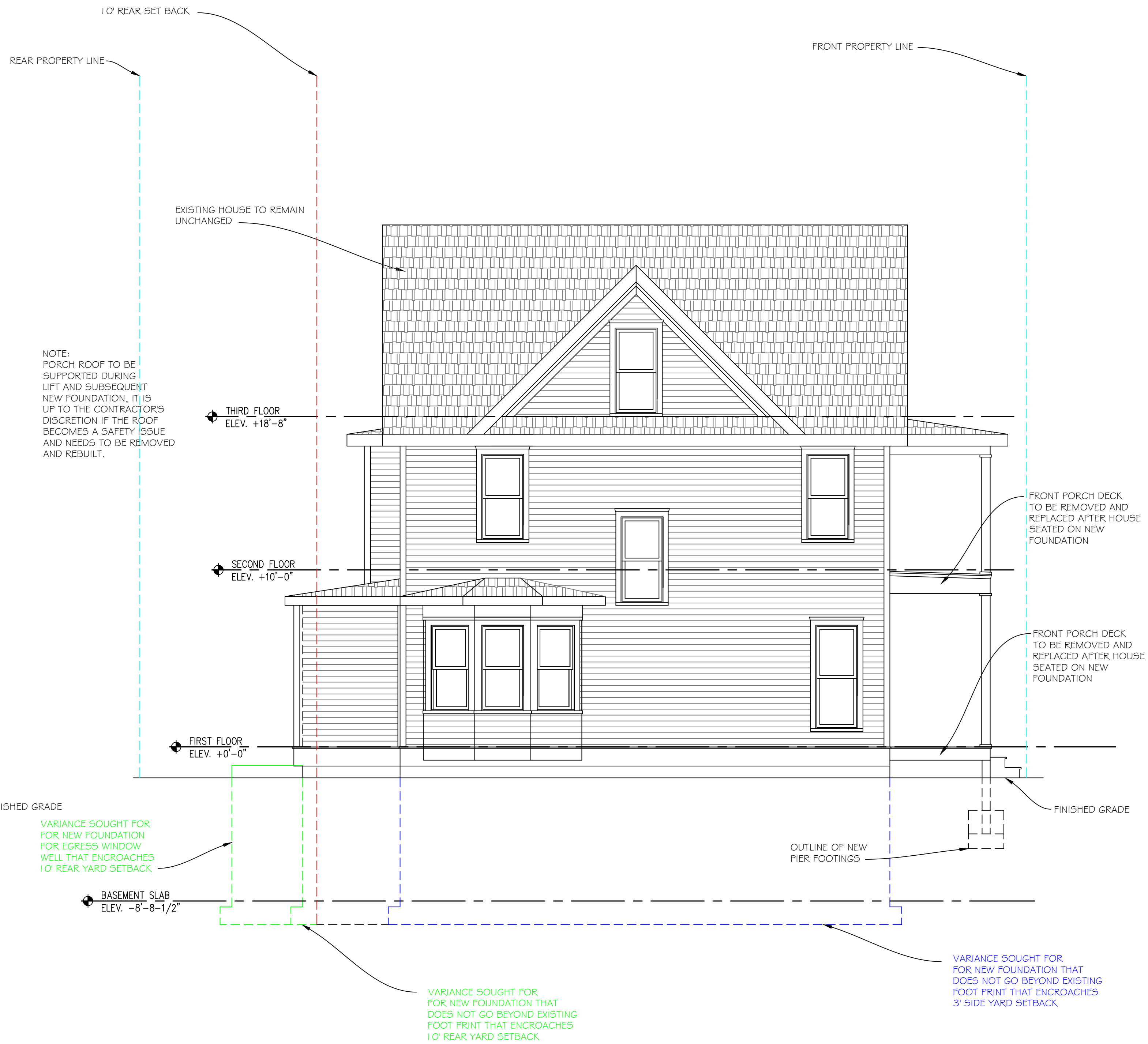
LEGEND:

- PROPERTY LINE
- 3' SIDE YARD SET BACK
- 10' REAR YARD SETBACK
- NEW CONSTRUCTION ENCROACHING ON 5' SIDE YARD SETBACK
- NEW CONSTRUCTION ENCROACHING ON 10' REAR YARD SETBACK



NORTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

DESIGNER:

JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BACK STREET
LAKE ARTHUR, NY 14750
(425) 238-7422

ENGINEER:

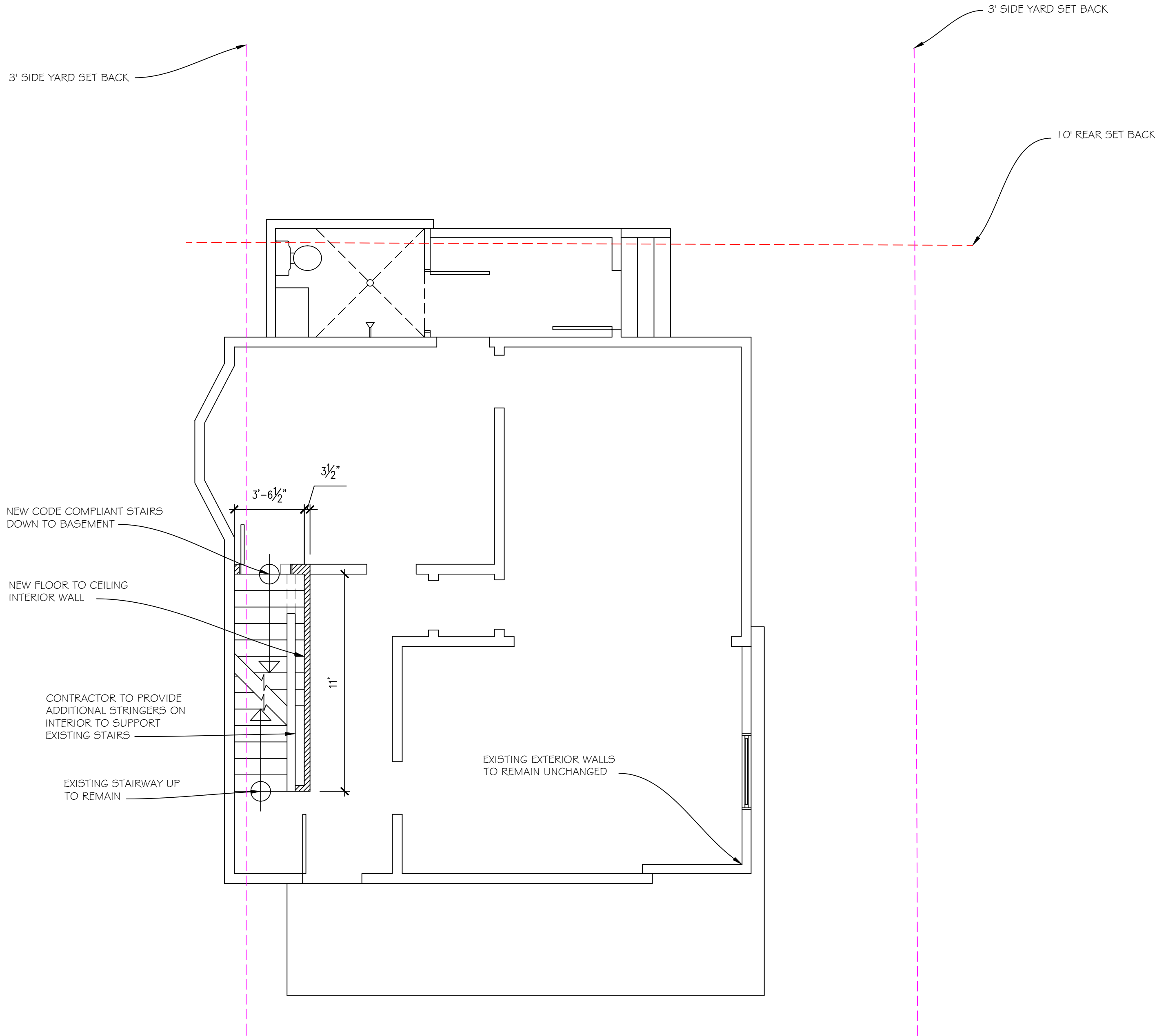
PETER RADKA
ROCK HILL ENGINEERING, LLC
6349 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

NORTH-WEST ELEVATIONS
QUAKER HOUSE
300 W. MAIN ST. 2ND FLOOR
CHAUTAUQUA, NY 14722

DRAWN:
JOE FLIKKEMA

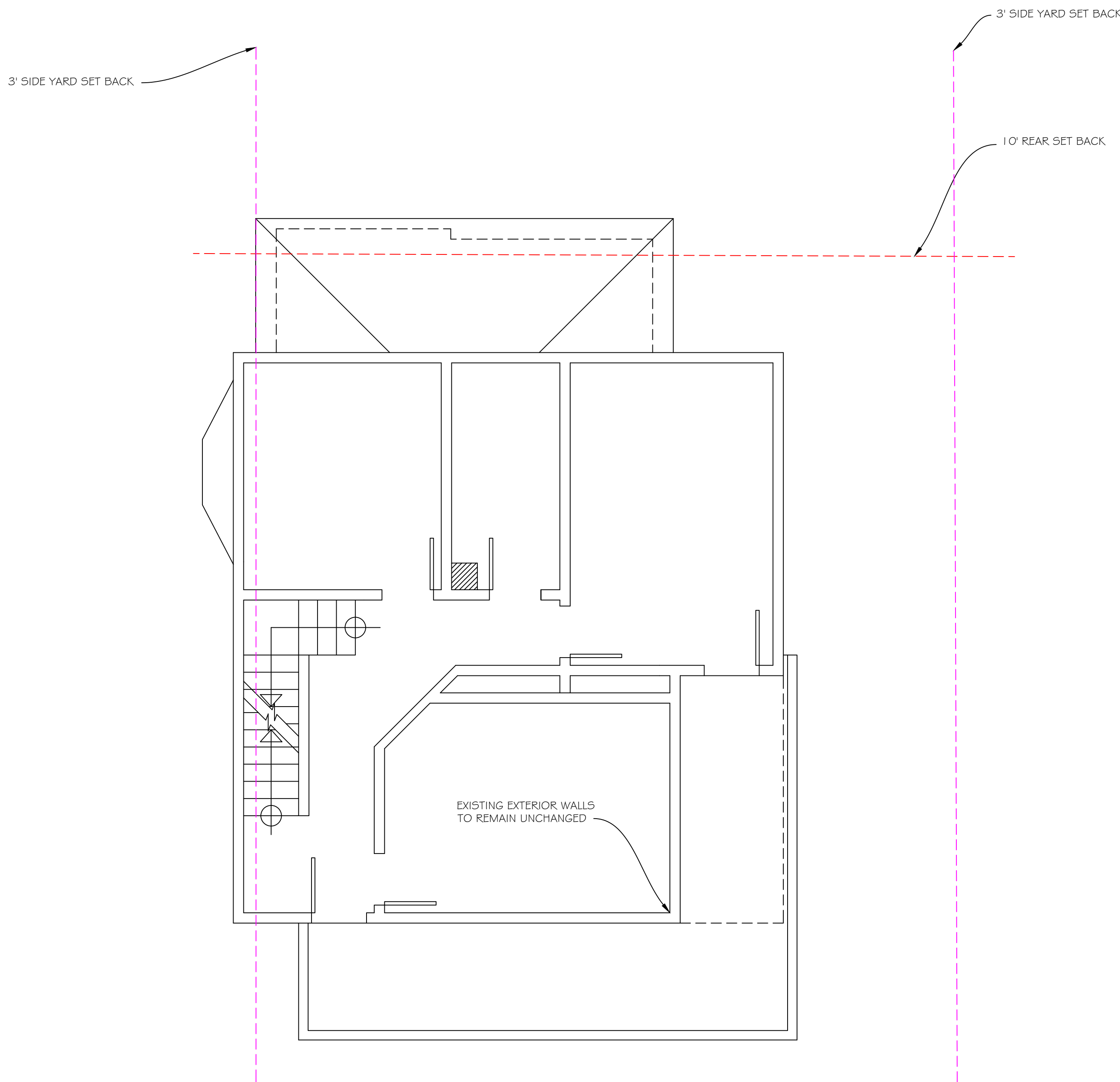
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FIRST FLOOR PLAN

1/4" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"

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JOE FLIKKEMA

DATE:
7/5/2026

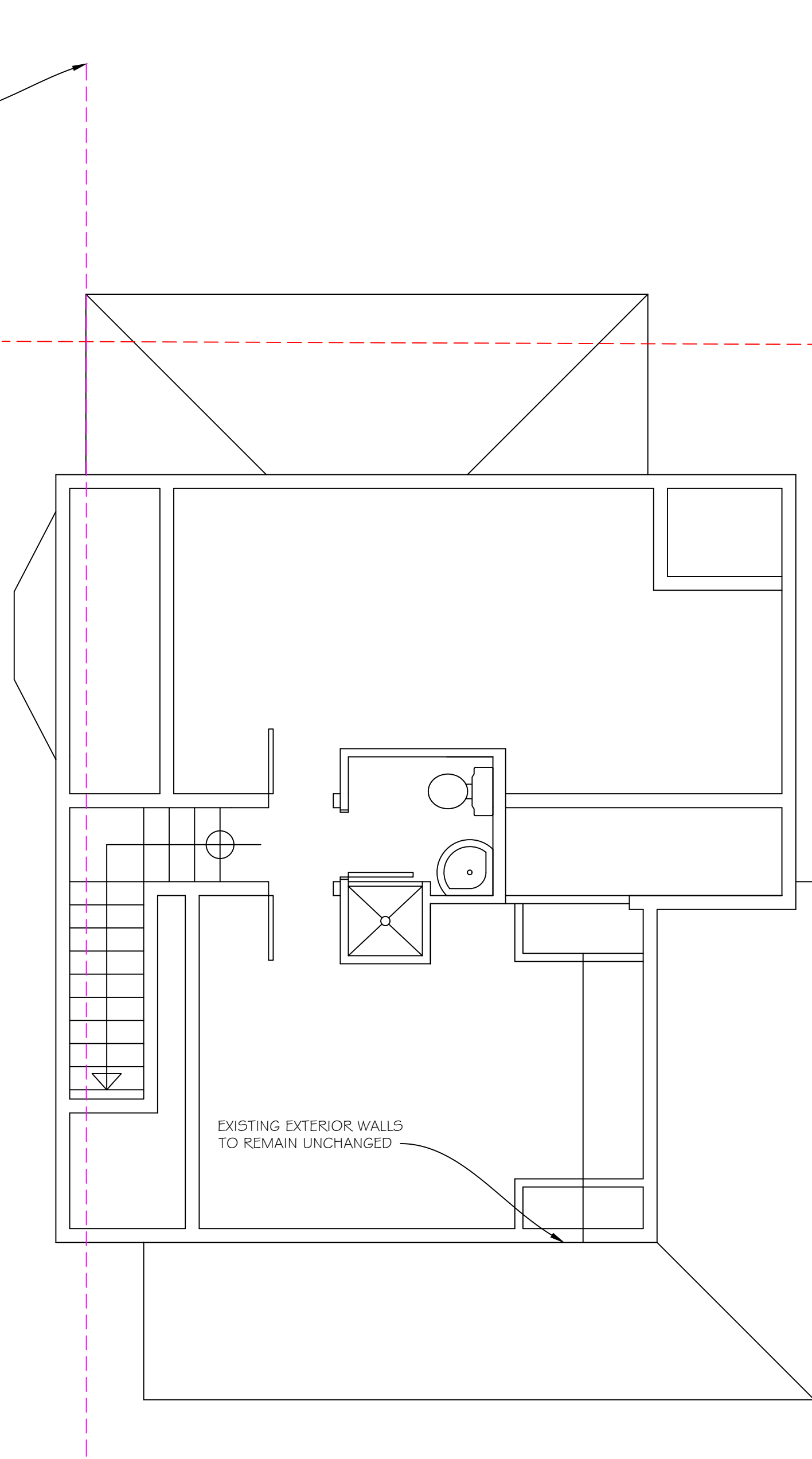
SHEET # A4

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FIRST - SECOND FLOOR PLANS
QUAKER HOUSE
300 W. MAIN STREET
CHAUTAUQUA, NY 14722

ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6349 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

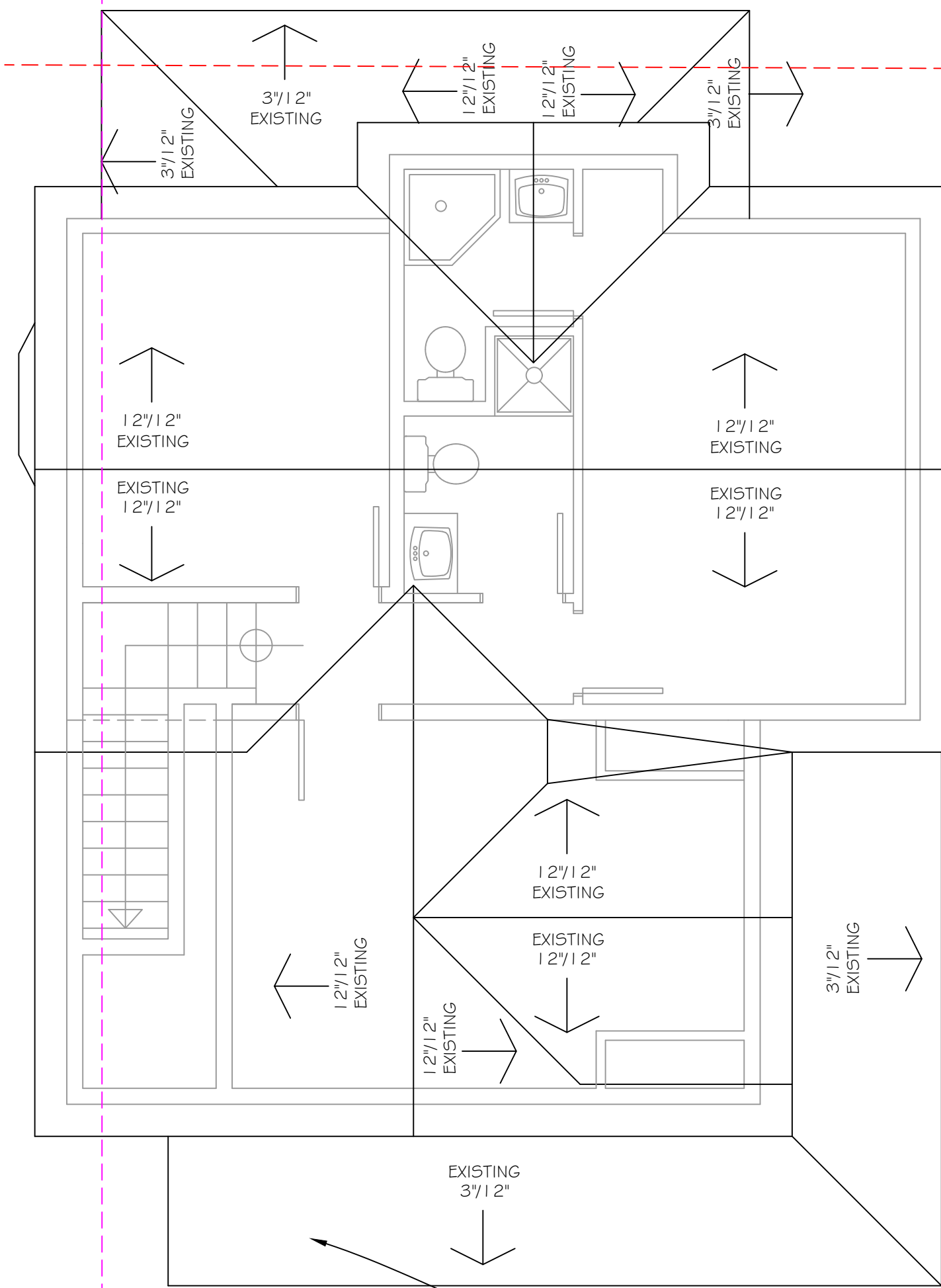
DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BAKER STREET
LAKEVILLE, NY 14750
(425) 238-7422



THIRD FLOOR PLAN

1/4" = 1'-0"

NOTE:
PORCH ROOF TO BE
SUPPORTED DURING
LIFT AND SUBSEQUENT
NEW FOUNDATION. IT IS
UP TO THE CONTRACTOR'S
DISCRETION IF THE ROOF
BECOMES A SAFETY ISSUE
AND NEEDS TO BE REMOVED
AND REBUILT.



ROOF FLOOR PLAN

1/4" = 1'-0"

DRAWN:
JOE FLIKKEMA

DATE:
7/5/2026

SHEET # : A5

6 OF 7

THIRD FLOOR- ROOF PLAN
QUAKER HOUSE
CHAUTAUQUA, NY 14722

ENGINEER:
PETER RADKA
ROCK HILL ENGINEERING, LLC
6349 KINGS CORNER ROAD
PANAMA, NY 14767
(716) 782-2206

DESIGNER:
JOE FLIKKEMA
SNOWY MOUNTAIN DESIGN
4655 BACK STREET
LAKEVILLE, NY 14750
(425) 238-7422

